

Cottage designs : awarded premiums in the competitions conducted by the Royal Institute of British Architects with the concurrence of the Local Government Board.

Contributors

Royal Institute of British Architects

Publication/Creation

London : Royal Institute of British Architects, 1918.

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THE ROYAL INSTITUTE

HOUSING OF THE WORKING CLASSES
IN ENGLAND AND WALES

COTTAGE DESIGNS

ROYAL INSTITUTE OF BRITISH ARCHITECTS

9 CONDUIT STREET, LONDON, W.1

1918

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HOUSING OF THE WORKING CLASSES IN ENGLAND AND WALES

COTTAGE DESIGNS

Awarded Premiums in the Competitions conducted
by the Royal Institute of British Architects
with the concurrence of the Local
Government Board



LONDON :
THE ROYAL INSTITUTE OF BRITISH ARCHITECTS
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1918

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COTTAGE DESIGNS

Awarded Premiums in the Competitions conducted by the Royal Institute of British Architects with the concurrence of the Local Government Board.

PARTICULARS OF THE COMPETITIONS.

IN September 1917 the Local Government Board, with a view to supplying the national housing needs after the war, invited the assistance of the Royal Institute of British Architects in procuring the best typical plans of houses suitable for the industrial classes in England and Wales. The Council of the Royal Institute considered that the best means of attaining this end was to initiate a series of competitions amongst architects throughout the country, and this course having been decided upon, in order that the competitions should be as widely spread and comprehensive as possible the co-operation was secured of the various provincial Architectural Societies allied to the Institute. For the purposes of the Competitions the country was divided into the following six districts or areas :—

1. London and the Home Counties Area (district of the Royal Institute of British Architects), comprising Norfolk, Suffolk, Cambridge, Huntingdon, Middlesex, Essex, Hertfordshire, Bedfordshire, Oxfordshire, Buckinghamshire, Berkshire, Surrey, Sussex and Kent.

2. Northern Area (districts of the Northern Architectural Association, Leeds and West Yorkshire Architectural Society, York and East Yorkshire Architectural Society, Sheffield and South Yorkshire Society of Architects), comprising Northumberland, Cumberland, Durham, Yorkshire, Derbyshire and Lincolnshire.

3. Manchester and Liverpool Area (districts of the Manchester Society of Architects and the Liverpool Architectural Society), comprising Westmorland, Lancashire, Cheshire, Flintshire, Denbighshire, Carnarvonshire, Anglesea, Merionethshire and Montgomeryshire.

4. Midland Area (districts of the Birmingham Architectural Association, the Nottingham and Derby Architectural Society, the Leicester and Leicestershire Society of Architects and the Northamptonshire Association of Architects), comprising Warwickshire, Staffordshire, Shropshire, Herefordshire, Worcestershire, Nottinghamshire, Derbyshire, Lincolnshire, Leicestershire, Northamptonshire and Rutlandshire.

5. South-West Area (districts of the Devon and Exeter Architectural Society, the Bristol Society of Architects, the Hampshire and Isle of Wight Association of Architects), comprising Devonshire, Cornwall, Hampshire and Isle of Wight, Gloucestershire, Wiltshire, Somersetshire and Dorsetshire.

6. South Wales Area (district of the South Wales Institute of Architects), comprising Glamorgan-shire, Brecknockshire, Radnorshire, Cardiganshire, Pembrokeshire, Carmarthenshire and Monmouthshire.

In each of these areas a competition was conducted simultaneously under the control of the local Architectural Societies above indicated. The conditions in all the areas were identical, but allowed for compliance with any local requirements as to materials, etc. It was considered that variations in accommodation would probably differ so little as to be negligible.

Designs were invited by advertisement in the building press and local papers throughout the country early in November 1917, and it was required that designs should be sent in by the 13th January 1918, a date which was afterwards extended at the request of many competitors to 31st January 1918.

For present purposes the text is given of the Conditions of the Home Counties Competition conducted by the Royal Institute :—

CONDITIONS.

HOME COUNTIES AREA.

1. The Royal Institute of British Architects invites designs for cottages in accordance with the instructions and particulars stated below. The competition is open to any British subject.

2. The designs are to be suitable for erection in urban and rural districts in the counties of Norfolk, Suffolk, Cambridgeshire, Huntingdonshire, Middlesex, Essex, Hertfordshire, Bedfordshire, Oxfordshire, Buckinghamshire, Berkshire, Surrey, Sussex, and Kent.

3. The designs are to include four classes or types of cottages as described below, and premiums are offered as follows :—

									1st	2nd
Class A	..	..	..	..	..	..	..	..	£100	£50
„ B	..	..	..	..	..	..	..	..	100	50
„ C	..	..	..	..	..	..	..	..	100	50
„ D	..	..	..	..	..	..	..	..	50	30

4. The adjudication will be made by a Committee of not less than three architects appointed by the Royal Institute of British Architects, and their judgment is to be accepted as final.

5. It is to be understood by competitors that the payment of the premiums conveys the absolute possession of the designs, including all copyright or other rights, and that the promoters will be at liberty to make any use whatever of the designs, and to publish them with the names and addresses of the authors. The promoters reserve the right to exhibit publicly, after the award, all or any of the designs as they may think best with the names of the authors attached. No architect shall compete in more than one area.

6. Designs are to be prepared strictly in accordance with the instructions below, and any design which does not so conform will be excluded. On this point the Committee of Selection are to be the sole judges.

7. Designs are to be delivered carriage paid to the Secretary R.I.B.A., 9, Conduit Street, Regent Street, London, W.1, on or before the 13th January 1918.

8. The unsuccessful designs will be returned to the authors carriage paid as soon as practicable.

9. Any questions must be addressed to the Secretary of the Royal Institute of British Architects, 9, Conduit Street, W.1, on or before the 27th November. Replies will be issued to all competitors as early as possible.

10. Each set of designs is to be accompanied by a sealed envelope containing the name and address of the author.

11. No motto or distinguishing mark is to be put on the drawings.

12. Every care will be taken of the drawings, but the promoters will not be responsible for any damage they may sustain, or for their loss.

13. Designs may be submitted in any or all of the classes as follows :—

CLASS A.—Living room, scullery, &c., and three bedrooms.

CLASS B.—Living room, parlour, scullery, &c., and three bedrooms.

CLASS C.—Living room, parlour, scullery, &c., and two bedrooms.

All the above to be treated as two storeys.

CLASS D.—Variations of either A, B, and C planned entirely or mainly on one floor.

Larder, fuel store, w.c. or e.c., cupboards, &c., to be included.

14. In all cases back additions are to be avoided or minimised as much as possible.

15. All houses are to be provided with a fixed bath and a cold-water supply. Arrangements for the supply of hot water are to be indicated on the plan.

16. Positions of all principal pieces of furniture, such as dressers, tables, beds, &c., together with opening of doors, the points of the compass, and dimensions of rooms, are to be indicated on the plan.

17. In Classes A, B, and C several houses must be shown as a block, of which three are to be planned in detail, the others in outline only. Of these three, one is to be an end or semi-detached house; another a terrace house or one between party walls with narrow frontage (not exceeding 18 feet), and a third with wide frontage. The depth of the site is left to the discretion of the competitors, and the site may be regarded as level.

18. The general height of rooms is not to be less than 8 feet, the floor area of the principal bedroom to be not less than 160 feet, and no bedroom to be less than 70 feet.

19. The plans may be prepared without regard to any existing by-laws or local Act provisions, the object being to show the best types possible if existing restrictions are removed.

20. Each design is to show plans of each floor, one section indicating the staircase, and two elevations, and to be drawn to a scale of $\frac{1}{8}$ th of an inch to the foot on double-elephant sheets. No other drawings to be submitted.

21. All drawings are to be in line only without washes, with the walls blacked in, and are to be sent flat.

22. The designs in each of the Classes A, B, C, and D are to be on separate sheets. Notes of materials, &c., are to be printed on the drawings, together with the cubic contents of each house measured from one foot below the floor to half way up the roof. No separate report is necessary.

23. Wherever possible, materials of the locality, if reasonably obtainable, should be specified, but as there exists at the present time a serious shortage of certain materials, competitors are invited to consider and suggest the substitution of others with a view to facilitating and cheapening construction. It is essential that strict economy be exercised throughout the design, and this will be an important consideration in making the awards.

Supplementary Particulars in Response to Questions by Competitors.

1. The floor areas given apply to all classes, and are to be nett area clear of all projections. The floor of living-room should have an area of not less than 180 ft.

2. The height of storeys may be from 7 feet 6 inches to 8 feet in the clear. Bedrooms may be partly in the roofs, but not less than two-thirds of the ceilings must be of the maximum height; and the vertical walls must not be less than 5 feet high.

3. The bath should be fixed and not of the tip-up type. It is not essential that a separate bathroom should be provided. The w.c. should not be placed in the bathroom or entered from the scullery.

4. No drainage need be shown, and it may be assumed that access to the house is from both front and back, and no gardens or plans of site need be shown.

5. No alternative plans will be allowed.

6. All drawings are to be drawn with the long dimension of the paper horizontal, and each class is to be clearly marked A, B, C, or D, as the case may be.

7. Each class is to be shown on a *separate* sheet, and the classes may not be intermixed.

8. The drawings are not to be mounted on strainers, and are to be in black ink, with a black wash over the window openings. No perspectives are to be sent.

9. The time for sending in designs is extended to 31st January 1918.

10. The fact of a design being premiated will not prevent the author from making use of it in his practice if he so desires.

11. The two elevations asked for may be such as the competitor thinks will best illustrate his design.

12. The assessors in each competition will have the option of recommending designs of special merit for further premiums (or honourable mention) in addition to those stated in the conditions.

13. Each of the Classes A, B, and C is to be designed as a block of five or six houses, of which three are to be drawn in detail, the others in outline only. Of the three which are to be fully drawn, one is to be an end or semi-detached house, another a terrace house between party-walls and lighted front and back only, with frontage of 18 feet from centre to centre of party-walls, and the third to be a house one room deep only, with long frontage at the discretion of competitor. The grouping or composition of the block may be arranged in any way the competitor desires. A section of one house in each block, if sufficiently explanatory, is all that is required.

14. It may be assumed that water supply is available.

15. A Committee of Assessors will be appointed by the Architectural Societies in each area.

The following points are given as desirable, but are not to be regarded as essential :—

Staircase should have direct ventilation.

Coals should be accessible under cover, and accommodation should be provided for at least one ton.

Scullery should be large enough to serve as a relief to living-room, but not large enough to take centre table.

Designs to the following numbers were duly delivered in the several districts :—

Area.	Number of Competitors.	Designs received.
Home Counties	336	636
Northern	100	226
Liverpool and Manchester	132	301
Midland	107	248
South-West	67	169
South Wales	66	158
	808	1,738

A Committee of Assessors for the purpose of adjudicating on the designs submitted was constituted in each area, and in each case a lady (in the Home Counties area two ladies) and a practical builder assisted the Committee with their advice.

The adjudication in the several areas was made during the months of February and March, and, with two exceptions, 1st and 2nd designs were selected in each class in addition to a limited number which were noted as worthy of commendation.

The following is a list of the awards made by the Assessors in the various areas :—

HOME COUNTIES AREA.

Assessors.—Mr. Henry T. Hare, Mr. E. Guy Dawber, Sir Aston Webb, K.C.V.O., C.B., R.A., Mr. H. V. Lanchester, Professor Adshhead, Mr. Paul Waterhouse, and Mr. Harry Redfern.

CLASS A.

First Premium : Mr. Courtenay M. Crickmer.

Second Premium : Mr. F. C. W. Barrett.

Hon. Mentions : Messrs. Wilson, Newton & Round, Mr. C. O. Nelson, and Mr. C. Wontner Smith (the latter's design purchased).

CLASS B.

First Premium : Mr. Alfred Cox.

Second Premium : Mr. Courtenay M. Crickmer.

Hon. Mentions : Messrs. Wilson, Newton & Round, Mr. C. Wontner Smith, Mr. F. C. W. Barrett, and Mr. John C. S. Soutar.

CLASS C.

First Premium : Mr. Courtenay M. Crickmer.

Second Premium : Mr. C. Wontner Smith.

Hon. Mentions : Mr. Roland Welch, Messrs. Wilson, Newton & Round, and Mr. H. R. Gardner.

CLASS D.

First Premium : Mr. John A. W. Grant, Edinburgh.

Second Premium : Mr. W. R. Mosley.

Hon. Mention : Mr. C. Wontner Smith.

MANCHESTER AND LIVERPOOL AREA.

Assessors.—Mr. John B. Gass, Mr. E. P. Hinde, Mr. F. B. Dunkerley, Mr. P. S. Worthington, and Mr. G. H. Grayson.

CLASS A.

First Premium : Mr. H. L. North (Llanfair-fechan).

Second Premium : Mr. R. L. Collingwood (Rochdale).

Hon. Mention : Mr. J. Arthur Cox.

CLASS B.

First Premium : Messrs. Briggs & Thornely (Liverpool).

Second Premium not awarded.

CLASS C.

First Premium : Messrs. Halliday, Paterson & Agate (Manchester).

Second Premium : Mr. H. L. North.

CLASS D.

First Premium : Messrs. Halliday, Paterson & Agate.

Second Premium : Mr. H. L. North.

Hon. Mention : Mr. J. Arfon Jones.

COTTAGE DESIGNS

NORTHERN AREA.

Assessors.—Mr. R. Burns Dick, Mr. William H. Thorp, Mr. James R. Wigfull, and Mr. L. Kitchen.

CLASS A.

First Premium: Mr. J. Hervey Rutherford, York.

Second Premium: Mr. Alex. Inglis, Hawick.

CLASS B.

First Premium: Mr. Alex. T. Scott, Huddersfield.

Second Premium: Messrs. Knowles, Oliver & Leeson, Newcastle-on-Tyne.

CLASS C.

First Premium: Messrs. Knowles, Oliver & Leeson, Newcastle-on-Tyne.

Second Premium: Mr. Alex. T. Scott, Huddersfield.

CLASS D.

First Premium: Premiated design disqualified after award.

Second Premium: Mr. R. E. Hastewell, Colwyn Bay.

MIDLAND AREA.

Assessors.—Mr. W. A. Harvey, Mr. S. Perkins Pick, Mr. Sidney F. Harris, and Mr. Harry Gill.

CLASS A.

First Premium: Messrs. Stockdale Harrison & Sons, Leicester.

Second Premium: Mr. N. B. Robertson, Leicester.

Hon. Mentions: Mr. A. E. McKewan, Birmingham; Messrs. Crouch, Butler & Savage, Birmingham, and Messrs. Ed. Garratt and H. W. Simister, Birmingham.

CLASS B.

First Premium: Messrs. Stockdale Harrison & Sons, Leicester.

Second Premium: Mr. F. W. C. Gregory, Nottingham.

Hon. Mentions: Mr. N. B. Robertson, Leicester; Mr. Frank H. Bromhead, Hereford, and Mr. Charles F. Sims, Stoke-on-Trent.

CLASS C.

First Premium: Mr. F. W. C. Gregory, Nottingham.

Second Premium: Messrs. Stockdale Harrison & Sons, Leicester.

CLASS D.

First Premium: Messrs. Cleland & Haywood, Wolverhampton.

Second Premium: Mr. A. E. McKewan, Birmingham.

Hon. Mentions: Messrs. Stockdale Harrison & Sons, Leicester, and Messrs. Cleland & Haywood (the latter's design purchased).

SOUTH-WEST AREA.

Assessors.—Sir Frank W. Wills, Professor Adshead, and Mr. James Crocker.

CLASS A.

First Premium: Messrs. Thornely & Rooke, Plymouth.

Second Premium: Mr. H. Heathman, Bristol.

Hon. Mentions: Mr. Chas. Cole, Exeter, and Mr. T. Bradford Ball, Weston-super-Mare.

CLASS B.

First Premium: Messrs. Thornely & Rooke.

Second Premium: Mr. H. Heathman, Bristol.

Hon. Mention: Major O. P. Milne, Pulborough.

CLASS C.

First Premium: Mr. W. A. Greenen, Port Sunlight.

Second Premium: Mr. W. Ravenscroft, Milford-on-Sea.

Hon. Mention: Captain Cyril A. Farey, Exeter.

CLASS D.

First Premium: Mr. Chas. Cole, Exeter.

Second Premium: Mr. W. A. Greenen, Port Sunlight.

SOUTH WALES AREA.

Assessors.—Professor Adshead, Mr. A. W. Swash, Mr. D. M. Jenkins, Mr. J. F. Groves, and Mr. J. W. Smith.

CLASS A.

First Premium: Mr. J. A. Hallam, Cardiff.

Second Premium: Messrs. Johnson & Richards, Merthyr Tydfil.

Hon. Mention (design purchased): Mr. Thomas A. Bevan, Cardiff.

CLASS B.

First Premium: Messrs. Johnson & Richards.

Second Premium: Messrs. A. Ll. Thomas and Gomer Morgan, Pontypridd.

Hon. Mention: Mr. C. Ernest Lawrence, Newport, Mon.

CLASS C.

First Premium : Messrs. Johnson & Richards.

Second Premium : Mr. C. A. Broadhead,
Swansea, Glam.

Hon. Mentions : Messrs. Eaton & Cooper,
Cardiff, and Messrs. A. Ll. Thomas & Gomer
Morgan, Pontypridd.

CLASS D.

First Premium : Messrs. Johnson &
Richards.

Second Premium : Mr. A. F. Webb, Black-
wood, Mon.

Hon. Mention : Mr. Thomas Gibb, Port
Talbot.

Several of the premiated designs, on close examination, were found to be capable of small improvements, and where such was the case the authors were asked to re-draw the designs with the suggested amendments ; such re-drafts are published in place of the original drawings.

GENERAL OBSERVATIONS AND NOTES ON THE DESIGNS SUBMITTED.

As will be seen by the conditions, in each of the Classes A, B and C designs were invited for (1) an end or semi-detached house ; (2) an ordinary "terrace" house of 18 feet frontage, and (3) a long-fronted house one room deep only ; and in order to test their architectural capacity the competitors were asked to design them in groups. Class D is intended to be erected mainly in country districts. It is considered that the various classes will include all types of houses required for the working classes throughout the country, both urban and rural.

The points which the Committee of Selection have borne in mind are the following :—

- (1) Adequate size of rooms.
- (2) Convenience of arrangements.
- (3) A satisfactory architectural treatment, having regard to the English tradition of cottage building.
- (4) Reasonable economy in design.

With regard to (1), it is considered that a living-room should not be of less than 180 feet area. The scullery should be large enough for the usual domestic operations, including cooking where gas is available. It should not, however, be suitable for meals. The parlour should be of sufficient area to allow of the usual furniture, including a piano. A minimum height of 8 feet is suggested. The principal bedroom should not be of less than 160 feet area, and the second and third bedrooms should be as large as practicable, having regard to the possibility of there being several children of each sex in one family.

As to (2), it is judged to be desirable that the living room and scullery should be in direct communication. The larder should be readily accessible from the scullery. The bath should be in an enclosed space in order to ensure privacy, and should have hot and cold water supply. In the case of the better-class houses, the bath is probably better placed upstairs, though this involves some extra expense in water services, etc. An exception, however, must be made in the case of mining districts, where the bathroom must of necessity be placed on the ground floor with as ready access as possible from an entrance, preferably that at the rear. Coals and w.c. should be accessible, if possible, under cover.

In each of the Classes A, B and C a house of 18 feet frontage was asked for. The competition, however, is considered to have shown that in the case of the house with a parlour this frontage is too restricted, and that the minimum width of frontage for such houses should be fixed at 20 feet.

As to (3), it is felt that a satisfactory architectural treatment is of great importance

so far as the limitations of expense will allow, and that this may be attained without elaboration, but simply by careful grouping of the houses, study of the design and spacing of windows, etc. This aspect of the problem is more fully dealt with on a subsequent page.

With regard to (4), it is impossible at the present time to give any estimate of the probable cost of the houses shown. The cubic contents of each house are stated on the drawings, but it is impossible to say what is the present advance on pre-war rates.

Generally speaking, it is felt that although many able designs have been submitted nothing very original or revolutionary has resulted from the competition. Nevertheless, a great deal of useful information has been received. The competition, too, has led to a widespread interest and study of the whole problem of the design and construction of these cottages. It is the intention of the Local Government Board to erect a few typical cottages for experimental purposes, and this, it may be claimed, is an important step towards preparing the way for a really satisfactory solution of the problem of housing the working classes immediately conditions allow.

In any discussion of the principles of cottage design it is well to realise at the outset that the planning of a cottage very largely resolves itself into the skilful adjusting of certain contending interests, or, in other words, into the making of a compromise. A cottage is a structural device in which certain opposing influences are balanced. It is not a question merely of the ancient struggle between cost and size, though this, the occasional antagonism between a man's means and his wants, plays its part in the planning of the cottage, as indeed it does in other departments of architecture and in the wider fields of general social economics. Like most other buildings a cottage is subject to certain limitations, and these are chiefly three in number—moderate rental, moderate size and modesty of requirements. We may look upon a cottage as the home of a working-class family of limited means and of sufficient self-respect to be desirous of paying its rent without either undue encroachment on income or undue reliance on subsidy. It may seem unreasonable to press these points, but there are certain enthusiasts among housing reformers who are prone to advise that it is not desirable to be unduly fettered by questions of cost and size, and others who urge that cost and size should at once give way before considerations of health, comfort and that proper pride which looks for the expansion rather than the curtailment of the cottager's needs. Health, comfort and general amelioration should have the *primary* claim on the cottage architect's attention. Anything unhygienic, anything uncomfortable is inadmissible. But cost and size, which mean rent and convenience, are also things that need to be considered with respect, and in any case if there is still to be sought some device which will give a worker of moderate means the maximum of comfort,

health and amelioration with the minimum of increased outlay—in other words, if there is still to be an accepted meaning in the word “cottage”—then it is worth while to seek a solution of the genuine cottage problem. That problem, we may be satisfied, is not one of unlimited expansion, but of the skilful adjustment of the contending forces. The solution of such a problem is a perfectly worthy one, and in publishing the results of the competitions it is desired to point out that the necessity of balancing cost against requirements has been kept strictly in view; also the fact has not been lost sight of that certain other antagonistic considerations have to be balanced with equal nicety if the perfect cottage is to be the end achieved.

It may be indicated in connection with this competition that, in endeavouring to discover the perfectly planned cottage in each respective type, it was necessary to pass over many very interesting designs on the ground that their interest was due to attractions of a subsidiary, incidental, or exceptional kind, and it may even be complained that the premiated schemes exhibit on the whole the dullness of mediocrity rather than the sparkle of genius. This is natural in a competition for perfect types: but it is hoped that in the preparation of actual housing schemes there will be found opportunity for features of incidental and local interest which would scarcely have been acceptable or permissible in standard types.

To secure a competition it was necessary to establish a basis on which competitors could work. That basis took the form of the set of conditions set forth above; and the promoters of the competition are perfectly aware that the conditions themselves are open to criticism. There are many and various views as to what is required in a cottage. It is impossible to harmonise all these views; for one reason, because different classes of tenants and different districts of England take divergent views as to requirements. It is therefore with no sense of failure, but rather with an increased sense of the complexity of the problem, that certain features are held out as capable of improvement even in those designs which most worthily received the honours of success in the various classes.

To take an example already referred to. The conditions prescribed that in the grouped houses in Classes A and B there should be one house of 18 feet frontage. The experience of the competition served to prove in a most useful way that this frontage, though just workable in Class A (which has three bedrooms but no parlour), is inadvisably narrow for Class B (which has a parlour). The problem, it is true, has been courageously dealt with by the competitors, but the results have convinced the assessors that in practice the sacrifices made to secure success are too great.

The conditions discouraged, without forbidding, the introduction of “back-additions.” Such additions simplify, it is true, the problem of the Class B house of narrow frontage, and on the whole the conclusion has been come to that if so narrow a width is ever essential for this type of house the back-addition is a regrettable

necessity. The chief objection to the back-addition is, of course, that, besides increasing cost by failing to include everything under one main roof, it has a tendency to overshadow, or at least to cut off oblique light from, the window of the room, whether parlour or living room, which comes nearest to it. Another objection when the back addition is of two storeys is that the tenants are deprived of much of their privacy. Moreover, the appearance of sink-wastes, w.c. doors, &c., as a frame to the view of the garden is, to say the least, objectionable. Probably the design placed first in the South Wales Area is as good as any example of the solution of the 18-foot house, Class B, by means of a back addition.

Some housing specialists in expressing their views upon ideal cottage planning make a specially strong point of the efficient lighting and ventilation of the staircases, and have set up as their standard the desirability of having window-, not sky-light illumination for every flight of stairs. While sympathising with the principle laid down, it is realised that this is rather a counsel of perfection. In an end house the staircase window is an attainable as well as a desirable advantage, but in the intermediate houses, and especially in the "terrace" house of narrow frontage, it is sometimes impossible to devise a window to the staircase or the upper landing without an altogether undue sacrifice of space needed for other vital purposes. Here the principle of compromise again comes in, and while admitting that the designs criticised on this head would be the better for staircase windows, it must be said that the introduction of such a feature in all these designs might be made at too great a sacrifice. In two instances (Northern, Class C, 1st premium; and Midland, Class B, 1st premium) the elevations show that the staircases are in reality better lighted than would appear from the plans. Four designs—Northern, Class C, 1st; Northern, Class B, 1st; Midland, Class A, 1st; and South-West, Class B, 1st—have made the mistake of introducing too many winders in the staircases, thus hindering the ascent of furniture and the descent of a coffin.

As already hinted, much debate arises about the question of bath accommodation. Some experienced authorities are in favour of placing the bath upstairs, others go the length of wishing to place the w.c. upstairs also. From the point of view of economic planning, it is naturally found that the placing of both upstairs accords very conveniently with the houses of Class C. In this type, as only two bedrooms are called for, there is not so large a proportion of accommodation upstairs (in relation to that below stairs) as prevails in Class A, or still more in Class B. Accordingly it is a relief to the planner to place upstairs, and withdraw from below stairs, the area represented by the w.c. and bath. Regarding the matter in its domestic aspect, it may be admitted that the privacy and consequent decency of the upstairs arrangement has much to be said in its favour, also the question of disposal of bedroom slops is simplified by this system; but, on the other hand, the hot water

supply is apt to become an expense unless the bath room is very nearly over the kitchen range; and in districts such as mining counties, where the men of the family come home in need of a wash, it is better to provide the bath near the point of entry to the house, instead of at a distance. It is obvious that a bath wholly unscreened in a scullery which is so narrow as to be only a passage, and which, being the only access to the back door, has necessarily to serve as a passage, is not desirable. Several designs are open to criticism on this point. In many cases the bath, it is true, is placed more or less in a recess, but in such instances as the narrow house in South-West, Class B, second, and Home Counties, Class B, first, it would be difficult to secure privacy. The designer of Northern, Class A, second, has a swinging curtain device which seems to us more ingenious than practical.

Akin to the bath problem is that of the w.c. Health demands that it should not be immediately adjacent to the larder, and that it should be efficiently ventilated; decency suggests that the approach to it should not be unduly obvious either to the neighbours or to visitors, and though it is impossible in a small house to prevent the discharge of the cistern from being heard in most of the rooms, there is force in the objections levelled at the authors of three designs (South-West, Class C, first; Manchester and Liverpool, Class A, first; and South Wales, Class B, second) for separating the w.c. from the living room or from the parlour merely by a $4\frac{1}{2}$ inch brick wall on which in the last named the cistern would be fixed. Similarly, a w.c. window looking into the front porch (South Wales, Class B, first) is rather an offence against good manners. From the purely sanitary point of view there is no better arrangement than a w.c. placed with its door on the back wall and lighted and ventilated by a fanlight over the door (or even by a short door) as is the case probably with several of the South Wales plans, but the necessity for going out of doors exposed to weather and perhaps to the view of neighbours counterbalances this and makes the arrangement undesirable.

The position of the sink out of the way of draughts is a point of minor importance. Proximity to a window is essential, and in the case of the smaller sculleries, proximity to the back door is almost unavoidable. Regard must also be had to the fact that fresh air near a sink is of more value than stagnant air. *Distant* position would seem to be a greater disadvantage. Northern, Class A, first, and, in a less degree, South-West, Class B, first, might be criticised on this point. Some designers, such as the two first just mentioned, have placed the sink near the front entrance. This raises the question of drainage. One or two good designs are rather spoiled by apparently requiring drainage points both at the front and the back of the houses. This involves either a front as well as a back drain, which is costly, or a pipe under the floor. The latter is perhaps the less evil, but it is

regrettable, and should be as far as possible avoided. Moreover, a remote position of the sink may involve an extension (and increased cost) of the water services.

The right placing of the larder is a point which, apparently small, has a large importance. It is a great temptation to a planner to fit in this small apartment in any space which is available, but it is obvious on consideration that such a treatment of the home of the food stores is inadvisable. Its aspect, to begin with, must not be west or south, nor must it be close to the heat of the range, or of the copper or gas fire. Again, it must not be so placed as to draw air supply from the w.c. Twenty of the designs come under criticism in one way or another for defects in this respect. Some place the larder under the stairs, a bad place as a rule for various reasons, unless very good through ventilation is secured—for a good through draught in a larder is often as valuable as an outside window. Many have wrong aspects, others approach too closely to sources of heat or of contamination. Opinion is somewhat divided as to the ideal position. It is by some thought to be a mistake to let the larder open into the living room, but as the living room is the dining room there seems to be some advantage in this, provided that it is not too distant from the scullery.

Some designs have, it will be seen, allowed too small a floor area for some of the bedrooms; and there are cases in which, though the area prescribed in the conditions has been secured, the shape of the room is such as not to admit of the convenient arrangement of the bed or beds.

In conclusion, a few special comments are offered on points of detail in the selected designs.*

HOME COUNTIES.

Class A, First Premium (Courtenay M. Crickmer).—Additional cupboards might be introduced with advantage. The position of the bath in two of the houses involves too great a length of piping. This plan also illustrates the minor defect mentioned above—viz., drainage points on both sides of the house. In this case probably a drain under the floor would be the solution of the difficulty. In the 18-foot house the shifting of the partition between the bedrooms, bringing it further forward, would be an advantage.

Class A, Second Premium (F. C. W. Barrett).—The stairs in the two centre houses start from the scullery. The disadvantage of this is that the steam of washing is apt to ascend to the bedrooms unless there is (a) a door at the foot of the stairs, or (b) efficient steam ventilation. The shortage of wall space for shelves in the scullery could probably be obviated by shifting the living room door.

* Some of the designs here published are not identical with the plans as submitted in the competition, having been, at the suggestion of the judges, amended in certain details so as to improve their value as specimen solutions of the problem under consideration.

Class B, First Premium (Alfred Cox).—No. 2 house has an unpleasantly long dark passage, and the defect is accentuated by the absence of light on the upper part of the staircase. The design illustrates the before-mentioned difficulties of securing sufficient space in the 18-foot house, for the scullery is cramped and overcrowded. The bath is unscreened, and it is difficult to see how it could be screened. These defects, as suggested above, are due more to the problem itself than to the designer.

Class B, Second Premium (Courtenay M. Crickmer).—In these plans we have a modified instance of the back-addition plan and consequent relief, and the sculleries are further relieved by placing the baths upstairs, but the space is still a little cramped in the narrow house.

Class C, First Premium (Courtenay M. Crickmer).—These designs are on very similar lines to the last named, and the same remarks are applicable.

Class C, Second Premium (C. Wontner Smith).—In two of the houses the parlour (as well as the scullery) opens out of a lobby which is part of the living room. As a rule we object to the parlour being entered only by passing through the living room from the front door. The baths in this design are unscreened. There is a covered-way back addition containing w.c. and coals. It is small, and does not unduly overshadow the parlour window.

Class D, First Premium (John A. W. Grant).—The plan is on practical and convenient lines, but the effect might be made more interesting, and the treatment of the windows is slightly too large in scale for the cottage.

Class D, Second Premium (W. R. Mosley).—The route to the coal cellar and w.c. is rather exposed, and it may be doubted if the cottage would be very economical to construct. Its proportions and general appearance would be pleasing.

MANCHESTER AND LIVERPOOL AREA.

Class A, First Premium (H. L. North).—In cottage No. 2 the bath is not conveniently placed, and in No. 3 the route from the living room to the scullery should be more direct; a revision of the plans in these respects would effect an improvement in them.

Class B, First Premium (Briggs & Thornely).—A very carefully studied design, but with long passages in houses 2 and 3 that are somewhat extravagant of space. The numerous breaks in walls and roofs would also increase the cost.

Class C, First Premium (Halliday, Paterson & Agate).—The difficulty of planning in the case of the narrow-fronted house has necessitated an outbuilding that seriously reduces the light to the scullery. The roof construction and numerous dormers would make this portion of the work somewhat costly.

Class C, Second Premium (H. L. North).—In No. 2 cottage the bath is very

uncomfortably placed, and the position of the scullery wastes, discharging as they do just below the living room window, is undesirable.

NORTHERN AREA.

Class A, First Premium (J. Hervey Rutherford).—In this design, as in several others, No. 1 house is the same as No. 2 except that No. 1 takes advantage on both floors of the possibility of additional windows. The little cupboard window in No. 3 house, though practically level with the floor, affords a useful means of getting a through current of ventilation in the large bedroom. The bedroom dormers are rather too high, the sills being 5 feet from the floor.

Class A, Second Premium (Alex. Inglis).—There is a nice straightforwardness about this plan and elevation. As in the previous design, houses No. 1 and No. 2 are of the same planning except as regards additional windows in No. 1. It is to be assumed that the centre part of the roof over these two houses is a flat, measuring about 18 feet by 9 feet. It is a pity that this could not be obviated. The staircase porches do not seem quite in harmony with the rest of the elevation.

Class B, First Premium (Alex. T. Scott).—The well-lighted landing on the first floor of No. 3 house would be a pleasant feature, but it is rather wasteful of space.

Class B, Second Premium, and Class C, First Premium (both by Knowles, Oliver & Leeson).—These two designs by the same firm have several features in common, the elevations being in the same style. As pointed out elsewhere, the dormer treatment, though valuable in Class C, has its disadvantages (on grounds of expense) in Class B. There is no reason why the projecting back porch—or scullery extension—in the centre house (called No. 2) should not be roofed by a prolongation of the main roof rather than by a flat. The end elevation of the Class C design is happier than that of Class B—a short length of roofing ended with a hip at one extremity and with a gable at the other never looks well. This designer favours large parlours—almost as large as the living rooms. A special range of combined functions is here suggested for the living rooms.

Class C, Second Premium (Alex. T. Scott).—In this design a gable or a half-hip would make a dormer unnecessary in the centre house.

Class D, Second Premium (R. E. Hastewell).—There seems to be a little waste of space in this design. The ridge is at the same height throughout, though the upper story only covers half of each house. The elevations are rather unsuccessful, and it is doubtful whether the flush bow windows of the living rooms are worth the expense they would involve.

SOUTH-WEST AREA.

Class A, First Premium (H. L. Thornely & Rooke).—In the narrow-fronted house of this design the bath is unduly deprived of ventilation and light. The long-fronted

house is unduly long. There is a regrettable length of passage upstairs; and it must be borne in mind that every additional yard of frontage occupied means more sewerage, more roadway and more paving.

Class A, Second Premium (H. Heathman).—The principal defect in this design is in the placing of the bath in the scullery, and in so planning the scullery that it is the sole passage way to the coals, w.c. and larder. In the long-fronted house the stair ascends from the living room, an arrangement that should be avoided if possible, and which in this case makes a very awkwardly shaped recess.

Class B, First Premium (H. L. Thornely & Rooke).—The narrow-fronted terrace-house is an able solution of the parlour cottage with so narrow a frontage as 18 feet. The long-fronted house is too long, and with its staircase planned in the rear is an uneconomical plan.

Class B, Second Premium (H. Heathman).—This is an excellent design, but with the bath so placed in the scullery many difficulties have been evaded which were attacked by the winner of the first premium.

Class C, First Premium (W. A. Greenen).—A very excellent design, but spoiled by projecting the larder or w.c. into what is naturally the space of the living room.

Class C, Second Premium (W. Ravenscroft).—This design is unnecessarily cut up both in elevation and in plan. The narrow-fronted terrace house is a good solution having regard to the 18-foot frontage. The placing of the bath in the scullery is a defect in the plan.

Class D, First Premium (Chas. Cole).—A very economical and simple solution of the problem.

SOUTH WALES AREA.

Class A, First Premium (J. A. Hallam).—The device by which the designer has endeavoured to make up for the shortage of space in the large bedroom of the 18-foot house is unsatisfactory. Such a bay window is expensive in itself, and works in very badly with the roof. The sculleries are somewhat cramped, and in the centre and end houses connect with the living room through the front lobby—not a good arrangement.

Class A, Second Premium (Johnson & Richards).—It should be noted that the narrow-fronted cottages are not designed as part of a group, as if they were so built the roofs would not take quite the form indicated. Here, again, the connection with the scullery through the front lobby is open to criticism; the advantage of having only one door to the living room does not compensate for the drawbacks of this plan. The unequal gable on the end elevation would be rather unhappy in effect.

Class A, Hon. Mention (Thomas A. Bevan).—This design is very well worked out, and only fails in one or two small details. The bath in the end cottage is in rather an exposed position, and the first-floor landings in this and the centre cottages somewhat cramped, making it difficult to move furniture or a coffin.

Class B, First Premium (Johnson & Richards).—This again exemplifies the necessity for at least some back addition if the problem of the 18-foot house is to be satisfactorily solved. We condemn the coal store placed in the living room, and there are objections to the rather distant open-air approach to the w.c. The cottages are intended to be specimens of each type rather than a group.

Class B, Second Premium (A. Ll. Thomas & Gomer Morgan).—This design shares with several others the objection that when the unscreened bath in the scullery is in use no access can be had to back door, coals, w.c. or larder. In the narrow-fronted house the route to the w.c. is rather exposed, while in the end house it would be preferable to make the door to the scullery open out of the living room instead of the entrance hall.

Class C, First Premium (Johnson & Richards).—The remarks on the design in Class B by the same authors apply to this also.

Class C, Second Premium (C. A. Broadhead).—The advantages of the hopper-pane device, of which the designer makes a special feature, are doubtful. The elevations are not worthy of the plans.

Class D, First Premium (Johnson & Richards).—The access to scullery from living room is too tortuous, and calls for improvement. The treatment of the roofing with varied pitch would not be very happy, though less noticeable if the cottages were built in pairs.

Class D, Second Premium (A. F. Webb).—The entrance porch forms a pleasant feature, and the plan is generally well arranged and the building groups well. The wide roof is perhaps a little extravagant, the living-room fireplace awkwardly placed, and the scullery a trifle cramped.

MIDLAND AREA.

Class A, First Premium (Stockdale Harrison & Sons).—With the boiler adjoining the larder in the narrow-fronted house the larder wall would become very hot. The bath in the scullery, designed as a passage to larder, w.c. and coals, is objectionable. It is doubtful if five feet to slope of ceilings in one side of all bedrooms is advisable. The flat roof on end blocks is unsatisfactory. The elevations are an exceedingly good example of Georgian design.

Class A, Second Premium (N. B. Robertson).—In the long-fronted house the scullery is separated from the living room, an arrangement which is not considered

good; this and the larger opening out of the living room are defects in what otherwise is an exceedingly good design.

Class B, First Premium (Stockdale Harrison & Sons).—The verandah treatment is unfortunate. It would unduly darken the living rooms, and the w.c.'s would hinder the use of the verandahs as pleasant resorts.

Class B, Second Premium (F. W. C. Gregory).—The difficulties of the problem in the narrow-fronted terrace house are got over by using a back addition. The long-fronted house shows a good plan.

Class C, First Premium (F. W. C. Gregory).—The remarks applied to the design under Class B, Second Premium, apply also to this design.

Class C, Second Premium (Stockdale Harrison & Sons).—The narrow-fronted house is too involved and expensive. The living room in the long-fronted house is too narrow for good proportion—the verandah at the back would block out much of the light, especially in view of the shape of the long room.

Class D, First Premium (Cleland & Haywood).—A good design, but had the bath been given a separate bathroom it would have been improved.

NOTE ON DORMERS.

On the general subject of elevations it is not desired to make much comment, except that in selecting designs for premiums the Assessors have avoided those schemes which relied for attractiveness on any features involving additional expense either in initial outlay or in upkeep. There is one point, however, upon which it seems desirable to express some opinion. Is it or is it not desirable to introduce dormers? For the dormer it may be urged that it is a device (very prevalent in old cottages) which enables use to be made of roof space which otherwise would be wasted. Another argument in the dormer's favour is that where it is not used economy of space and material calls for a flat-pitched roof, and a low-pitched roof means in some localities either a roof which will not throw off the water or a roof made of the ugliest of materials. On the whole, weighing one consideration against another, it may be said that some types of plan call for the dormer treatment as an economy, while others do not. The main argument against the use of dormers is, of course, that they involve the expense of additional valleys, ridges and cheeks, which mean in most cases plumber's work, and possibly plumber's repairs; but these objections may sometimes be outweighed by considerations of waste of space, and it appears, for example, that there may be good reason for resorting to dormers in the case of houses of Class C (two bedrooms only). In these houses there is, roughly speaking, less accommodation required upstairs than downstairs, and a most natural solution of the planner's problem is to take advantage of the diminished

upstairs requirements by fitting the rooms into a space narrowed by the slope of the roof. Mr. Crickmer's premiated designs illustrate this tendency, for while his A and B schemes are dormerless he resorts to the use of simple dormers in his design for Class C. In other words, his eaves are 16 feet above the ground floor level in Classes A and B, while for Class C he lowers this dimension to 12 feet on the front elevation and 8 feet on the back.

GENERAL RECOMMENDATIONS TO LOCAL AUTHORITIES AND OTHERS.

1. The first step should be the appointment of a competent and thoroughly qualified architect, who should advise on all questions, including the site, general lay-out of the area to be developed, as well as the design and character of the houses to be erected. A special scale of charges applicable to work of this nature has been drawn up by the Royal Institute of British Architects.

2. Schemes should be prepared on town planning lines and with due regard to the proper planning and development of the neighbourhood. This general outline plan should be submitted in every case where the local authorities require relaxations in the by-laws respecting roads or buildings.

3. The number of houses to the acre should not exceed twelve in urban [and eight in rural areas, and where the site is adequate it will be wise to reserve at least 10 per cent. for open spaces before the number of houses is determined.

4. Houses should be built in blocks of from two to eight. On the grounds of amenity and economy back roads should be avoided, and separate access to the rear should be provided either by the adoption of the semi-detached type or by the formation of passage ways through the blocks.

5. The distance between the fronts of the houses should, in general, be at least 70 feet.

6. It is considered that the minimum frontage for each house should be 18 feet (or 20 feet in the case of parlour cottages), and that projecting additions in the rear should be avoided as far as possible.

7. Entrances, both front and back, should be provided with lobbies.

8. The living room and principal bedroom should be of ample size, and the parlour should be of sufficient area to accommodate the usual furniture, including a piano. The scullery should be large enough for the usual domestic operations, and should allow of cooking where gas is available, but should not be arranged for meals, etc.

9. Eight feet will be found the most suitable height for the rooms generally.

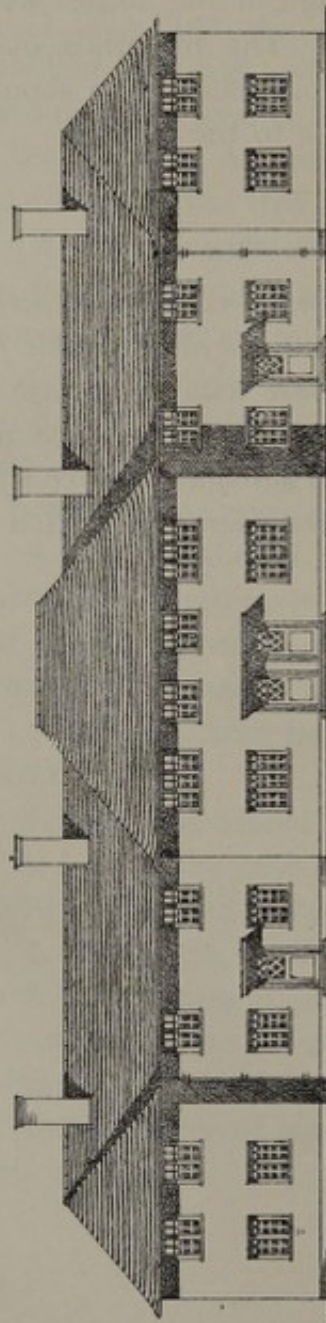
10. The importance of aspect cannot be too strongly emphasised, particularly for the living room, which should be so placed as to obtain ample sunlight. In order to secure this, it will be necessary in many instances to adopt a type of plan which allows of windows on two opposite sides of the room, such as are shown in the wide-fronted houses of the designs illustrated in this volume.

11. As much variety as possible should be secured in the design of the houses, but this should be by grouping and general form rather than by the introduction of unnecessary features or varied materials. Any standardisation which may be contemplated with a view to economy should be limited to doors, windows, fittings, etc., rather than to the general design of the houses.

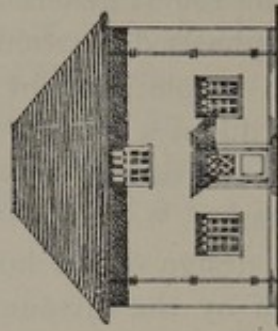
12. Special attention should be given to the external design of the houses with a view to securing a pleasing and harmonious appearance. The materials used should be of the simplest and most inexpensive nature, but particular care should be taken that these are of good colour and texture, and suitable to the locality.

NOTE RESPECTING GROUPING OF HOUSES AS SHOWN ON THE PLANS.

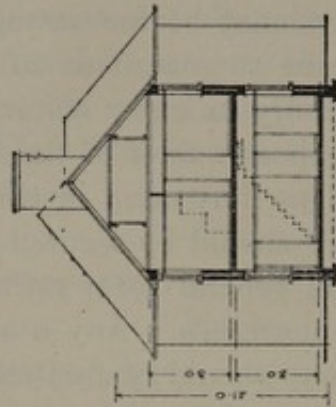
The three types of houses, though shown as grouped in the plans, need not necessarily be grouped together: No. 1, designed as the end house of a terrace, is also suitable for erection in pairs semi-detached. No. 2, an ordinary terrace house with a frontage of 18 feet, may be erected in blocks. No. 3, a terrace house occupying a wider frontage and only one room deep, is intended for erection in positions where a satisfactory aspect for the living room cannot be otherwise obtained, and for sloping sites where the erection of No. 2 would involve waste on account of the fall of the ground.



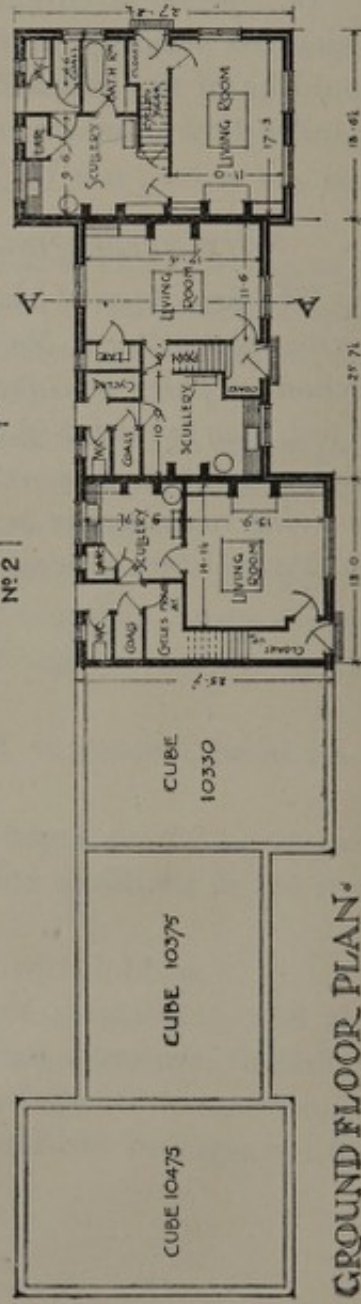
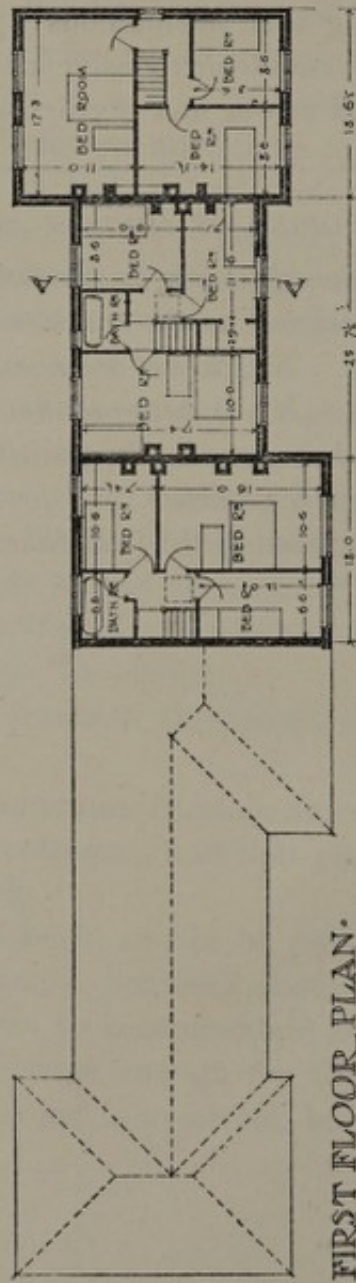
FRONT ELEVATION.



SIDE ELEVATION.



FIRST FLOOR PLAN.



GROUND FLOOR PLAN.

SECTION A-A.

FOUNDATIONS
WALLS

FLOORS

ROOF

RAVES

MOORS

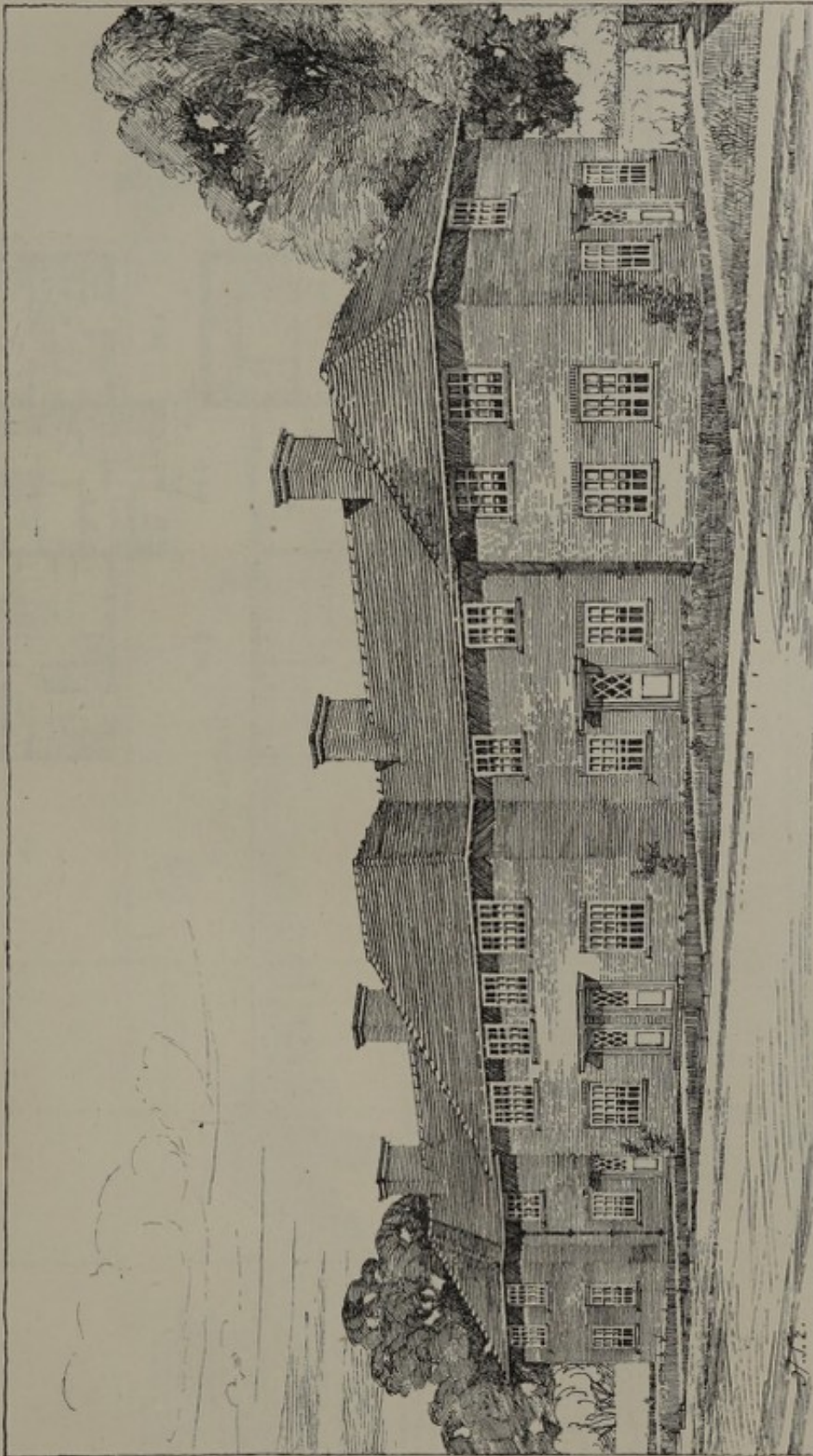
WINDS

PARTITIONS

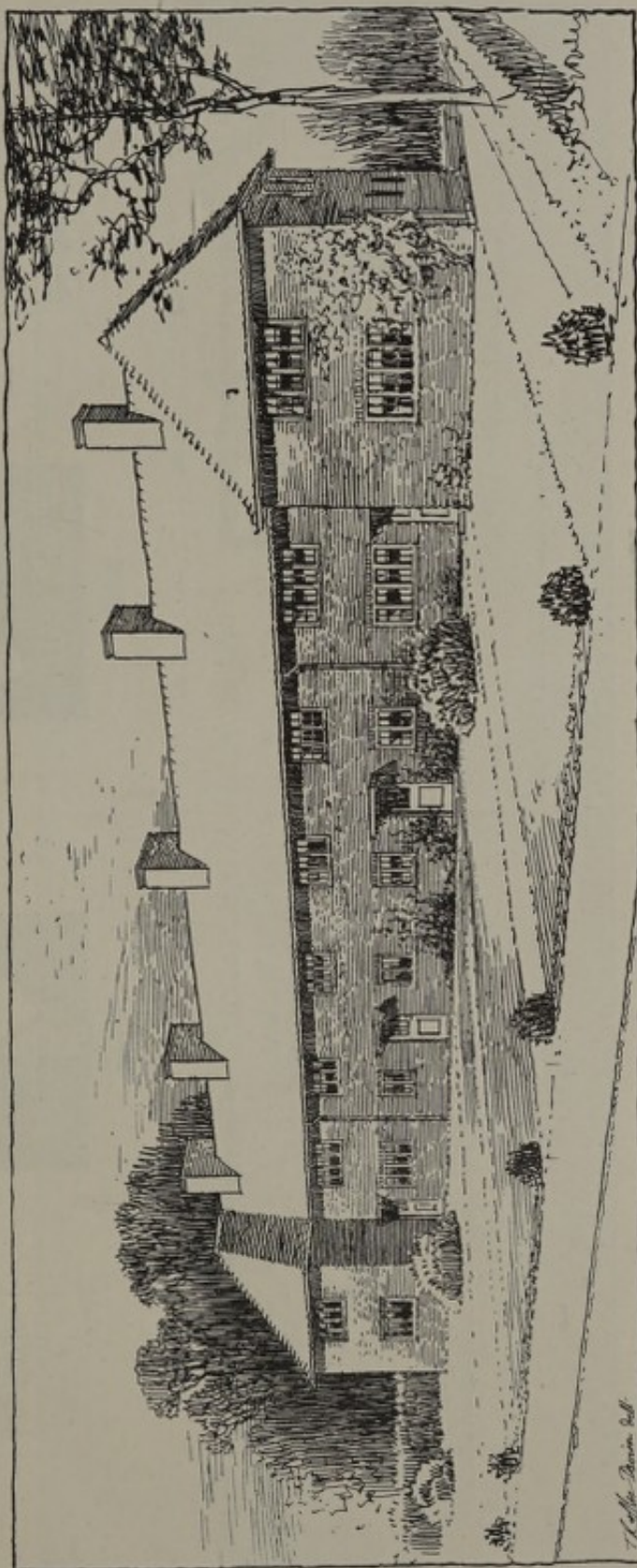
NOTE

5" CONCRETE
IF HOLLOW BRICK OR WHEN BRICKS UNOBTAINABLE
HOLLOW CONCRETE SLAB WALLS OUTSIDE SLAB
3" INCHES, 4" TIED TOGETHER.
GROUND FLOOR CONCRETE, 10" FLOOR CONTINUOUS
HOLLOW BRICKS 30" AT SEIGNY OR ALKING
THREE JAMS CENTERING AT PRESENT TIME OR
REINFORCED FLOORS WITH STAMMED-CENTERING
WOOD WHEN OBTAINABLE. CONCRETE FLOORS BY
ORDER WITH PAINT TEST & LINDOLIN OR MARKED
THESE CHANGES MUST BE MADE IN ALL
CONCRETE TILES PARTITION & PARTITION ONLY
COVERED IN ASBESTOS SHEETS
SEATS.
K.C.B. SYSTEM OR SIMILAR
CASEMENTS ALL TO OPEN & CUT BACK TO UPPER
PART OF ONE LIGHT IN EACH WINDOW.
FRAMES OF THINER OR CONCRETE.
BRICK, & WHERE NOT CARRYING WEIGHT
CONCRETE SLAB.
THE ABOVE FLOORS, CONCRETE FOR WALLS
AS ARE ONLY FOR CASES WHERE ORDINARY
MATERIALS ARE UNOBTAINABLE.
THE CENTRE PAIR OF COTTAGES A TIE
END PAIR CAN BE SET BACK OR FORWARD
TO SIMPLIFY OR VARY THE GROUPING AS
REQUIRED.

COURTENAY M. CRICKER
1 Lincoln's Inn Fields, W.C.2.



I. HOME COUNTIES AREA : CLASS A, FIRST PREMIUM.
 Courtenay M. Crickmer.



II. HOME COUNTIES AREA : CLASS A, SECOND PREMIUM.

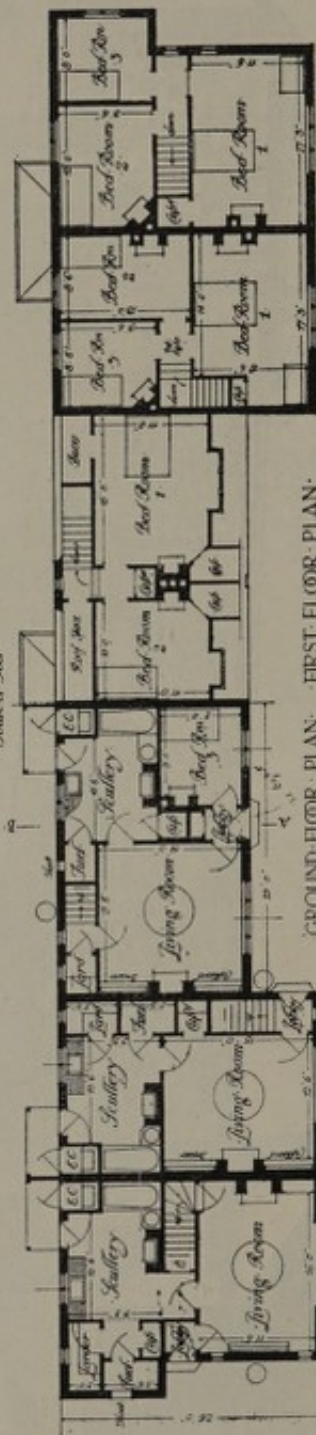
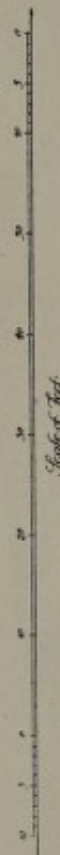
F. C. W. Barrett.

COTTAGE: COMPETITION: CLASS: A:

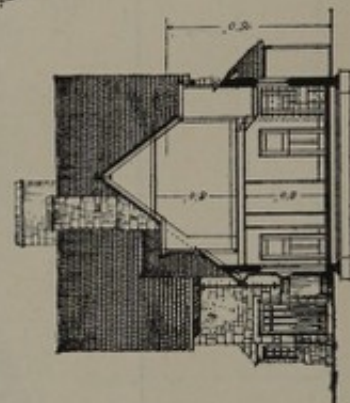
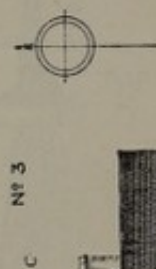
HOME COUNTIES AREA
200.



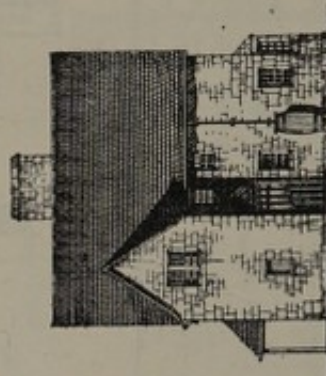
FRONT: ELEVATION:



GROUND FLOOR PLAN: FIRST FLOOR PLAN:



SECTION A-B

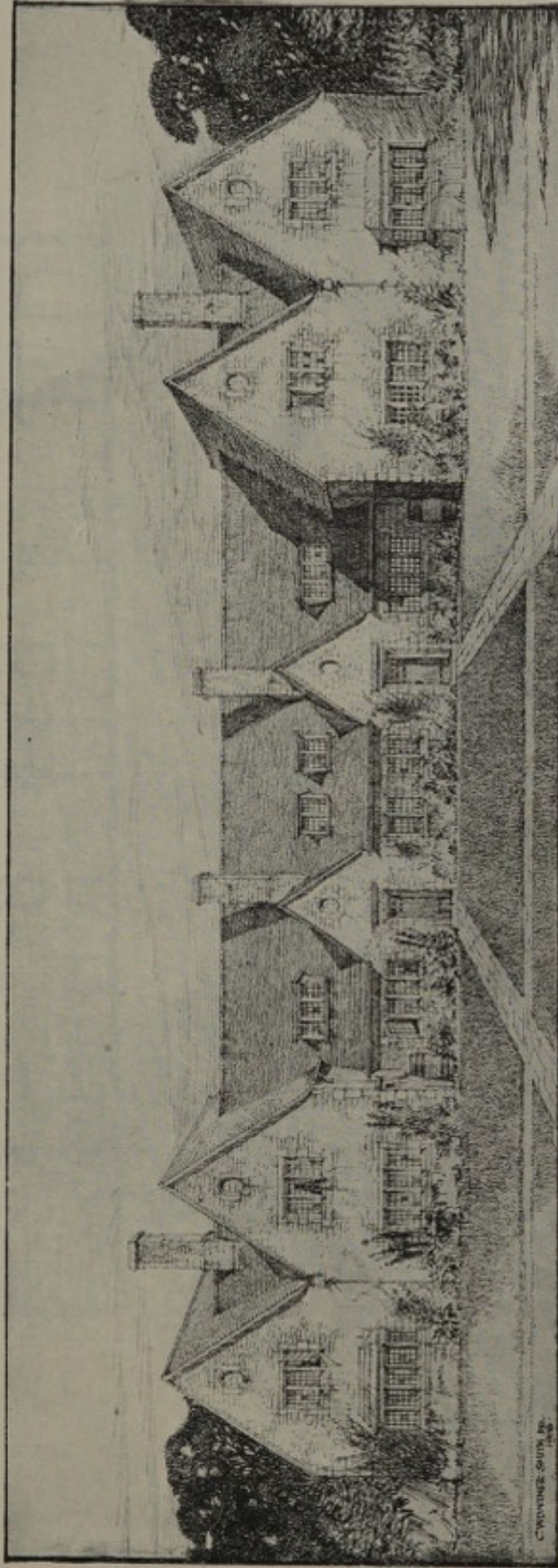


SIDE ELEVATION

Materials
Expenditure type of
house, suitable for a
locality where stone
is easily obtained
or good stone or
ordinary S.D. slate
may be used.
Some mullions
or small frames, iron
casements, brass
could be used of
brick or any suitable
material.

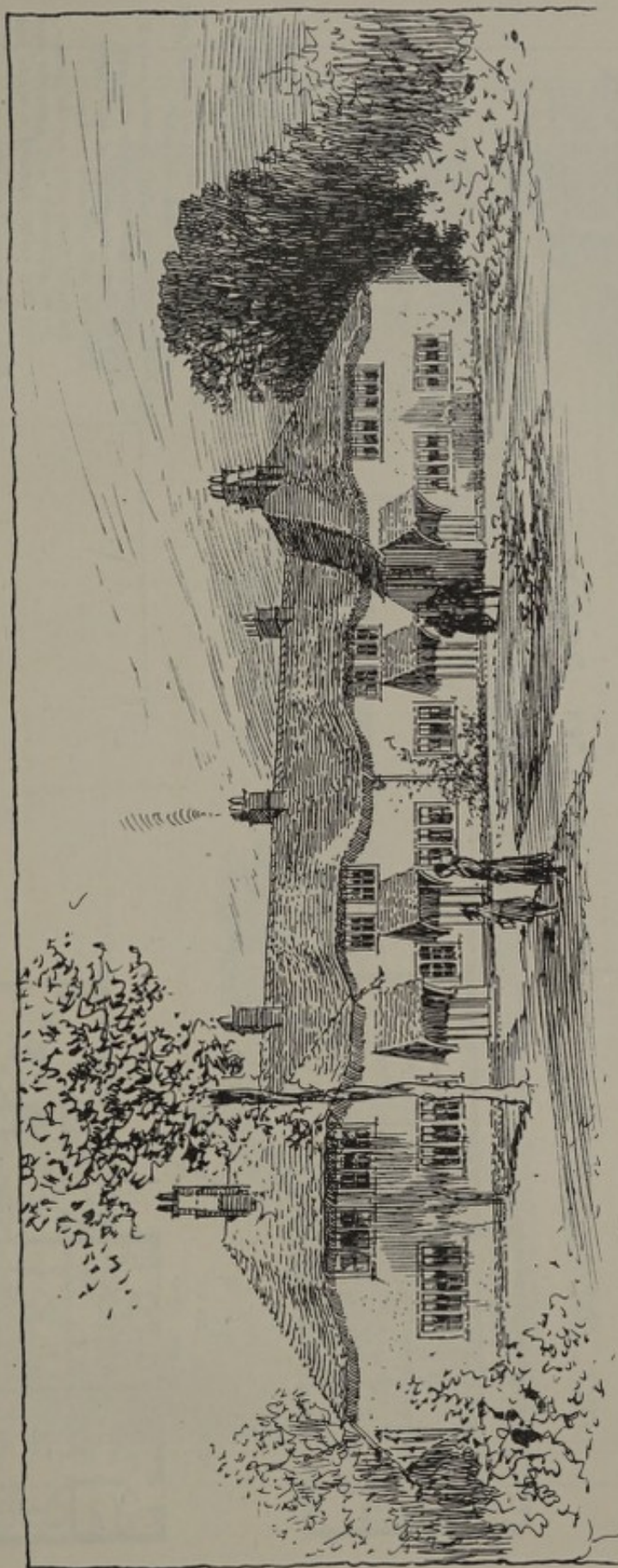
Public Comments
House A.
21425 feet
House B.
21828 feet
House C.
21943 feet
Exceeds space to
each house
790 feet.

C. W. W. Smith FRIBA
Architect
2, Orpington Square, W.C.
140 High St. Orpington



III. HOME COUNTIES AREA : CLASS A, HON. MENTION.

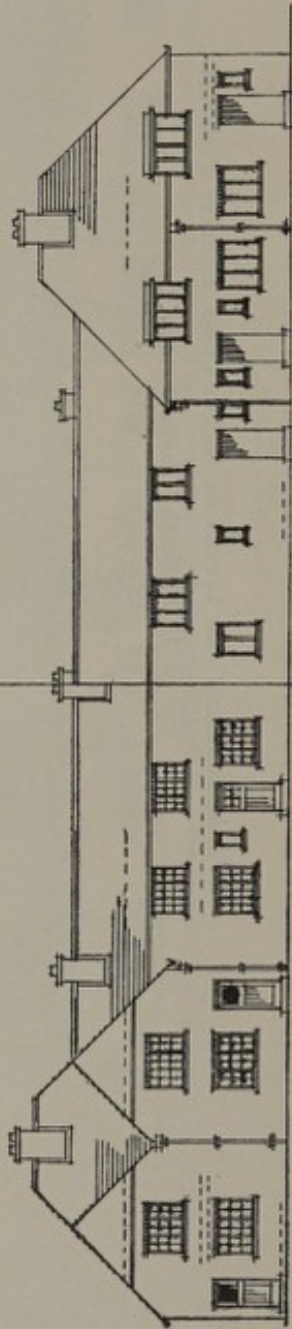
C. Wontner Smith.



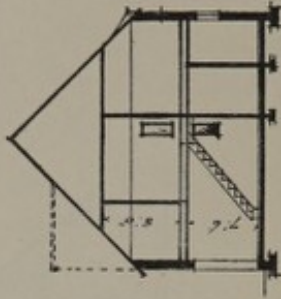
IV. MANCHESTER AND LIVERPOOL AREA : CLASS A, FIRST PREMIUM.
H. L. North (Llanfairfechan).

WORKING CLASS COTTAGES

CLASS A

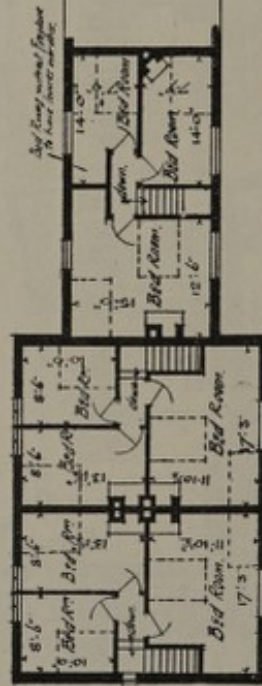


HALF FRONT ELEVATION.



HALF BACK ELEVATION.

SECTION.

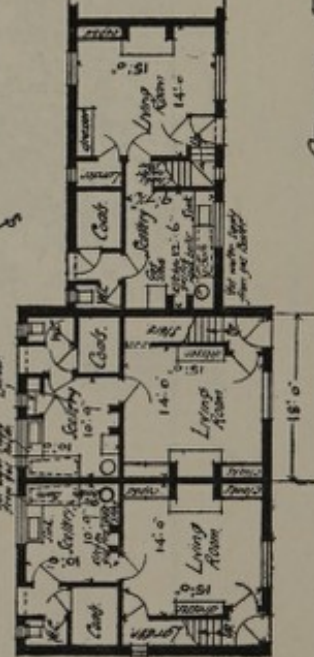


FIRST FLOOR PLAN

No 3

No 1

No 2



GROUND FLOOR PLAN.

Overall Contents

End House 96/11 cbs. 100

Tenure House 98/9 - 100 -

Long Bridge House 99/5 - 100 -

Materials.

Walls: of Chalk walls of local common bricks, or local with rough and flat of Portland in locally. If in local district may be limited to walls of Living Rooms and Bed Rooms to be plastered internally.

Floors: Living Rooms: Deal boarding nailed to joists embedded in a layer of concrete. The floor and underside of stairs being coated with bituminous material.

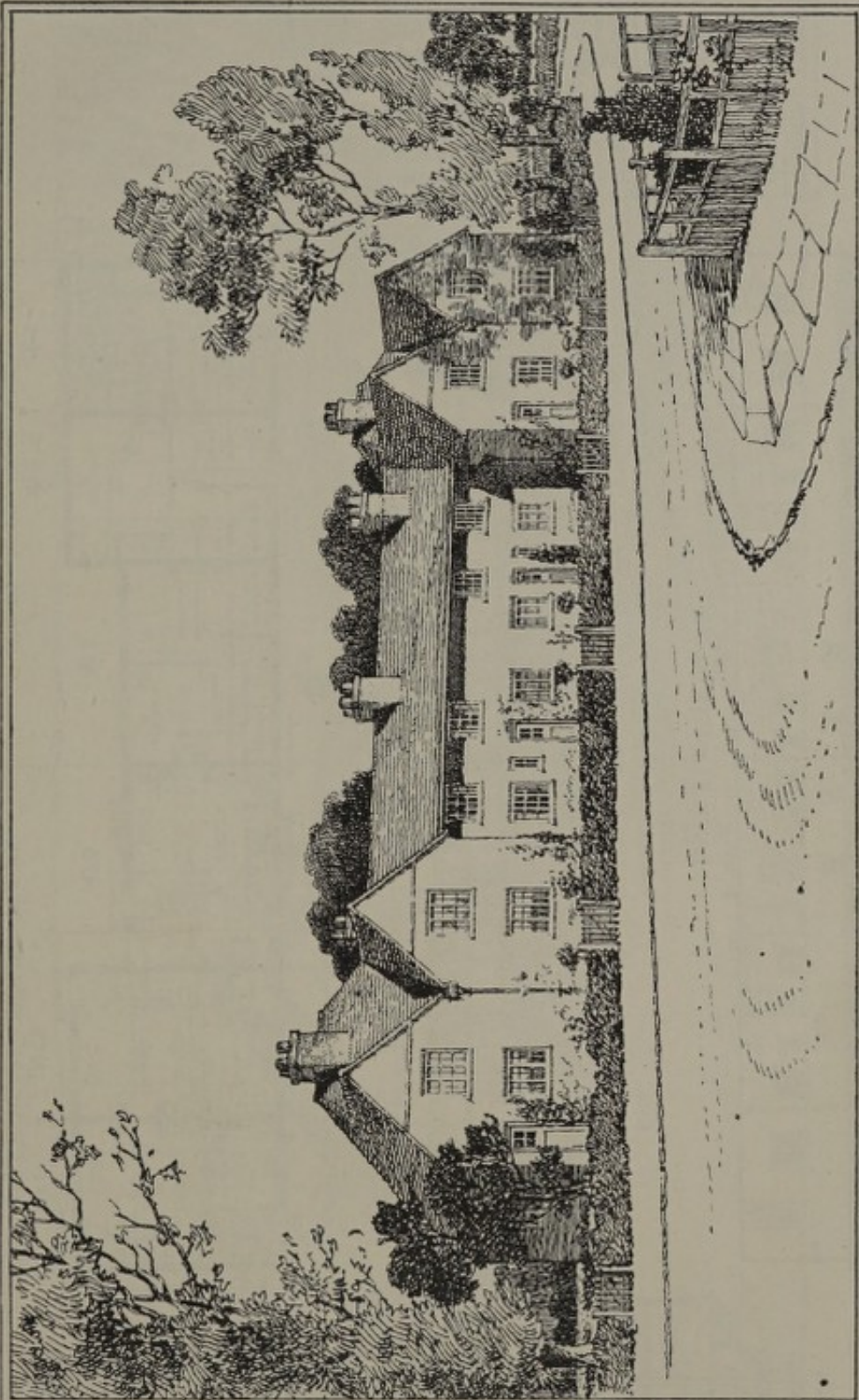
Cellars: under, N.C.S. and Coal place: Layer of concrete with gravel-like finish.

First floor: Deal boarding on wooden joists.

Roofs: Slate or Roofing Tiles according to their prevalence in a Locality.

Sigs: One course deep stone at front. Two courses of fluting tiles set in concrete at back.

Windows and Door Heads: Brick on left corner in frame.

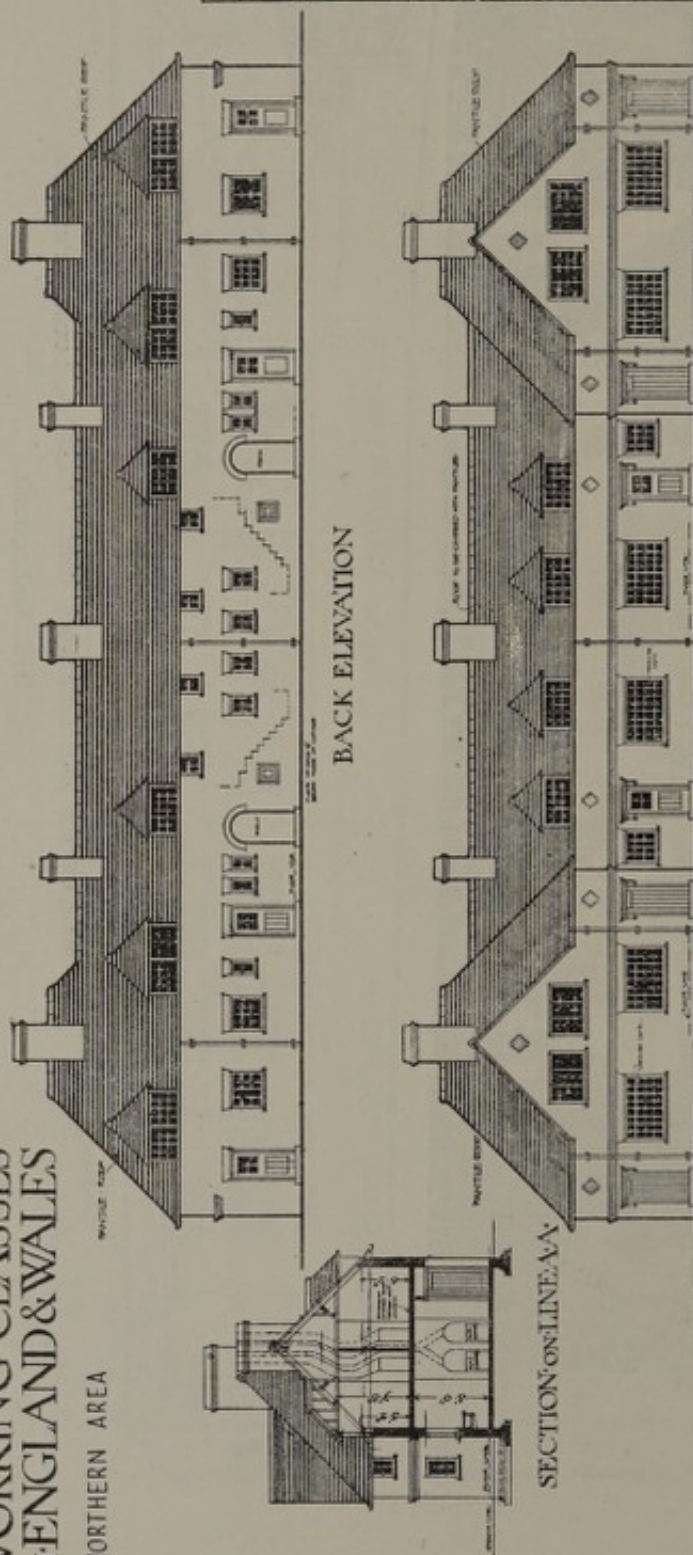


V. MANCHESTER AND LIVERPOOL AREA : CLASS A, SECOND PREMIUM.
R. L. Collingwood.

HOUSING OF THE WORKING CLASSES IN ENGLAND & WALES

NORTHERN AREA

COTTAGE COMPETITION

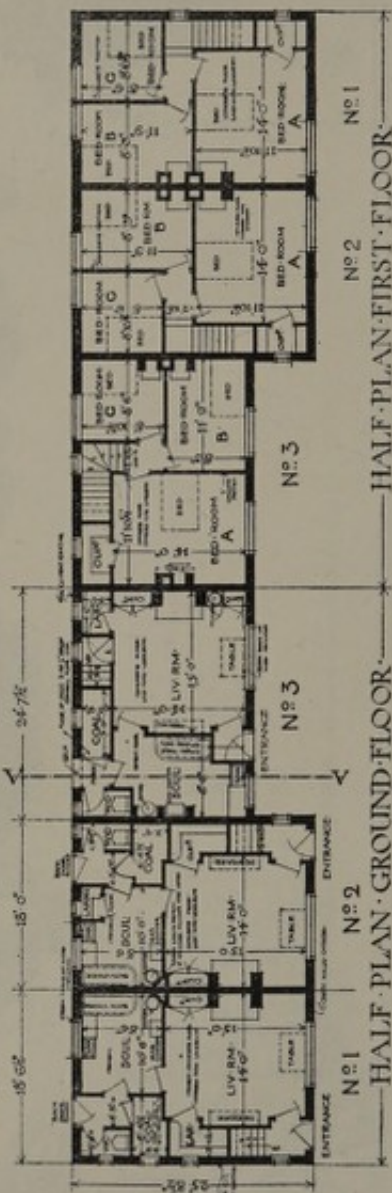


CUBICAL CONTENTS.		
COTTAGE No 1	=	9301 CUBE FT
DO No 2	=	9322 "
DO No 3	=	8968 "

GROSS AREA		NETT AREA	
LIVING ROOM	210	50 FT	155
KITCHEN	89	"	59
SCULLERY	166	"	102
BED ROOM A	97	"	92
" B	"	"	"
" C	"	"	75

OUTER WALLS to be 11 ins cavity walls built of local close knit bricks bed with galvanized iron Anchor ties—
INNER WALLS Ground Floor to be 4 1/2 bricks in cement—
PARTITIONS first Floor to be formed of 3 ins concrete slabs—
FLOORS to be of concrete covered with Linoleum except to Scullery—
Goals W.C. & Larder which are to be finished in Gt. marble—
STAIRS to be of Concrete & all the SINKINGS to be executed in Cement—
ROOF TIMBERS to be in English or Scotch Fir—
ROOF to be covered with Hard tiles—
Valleys with Valley Tiles and sides of Dormers with 3 ply Rubetoid—

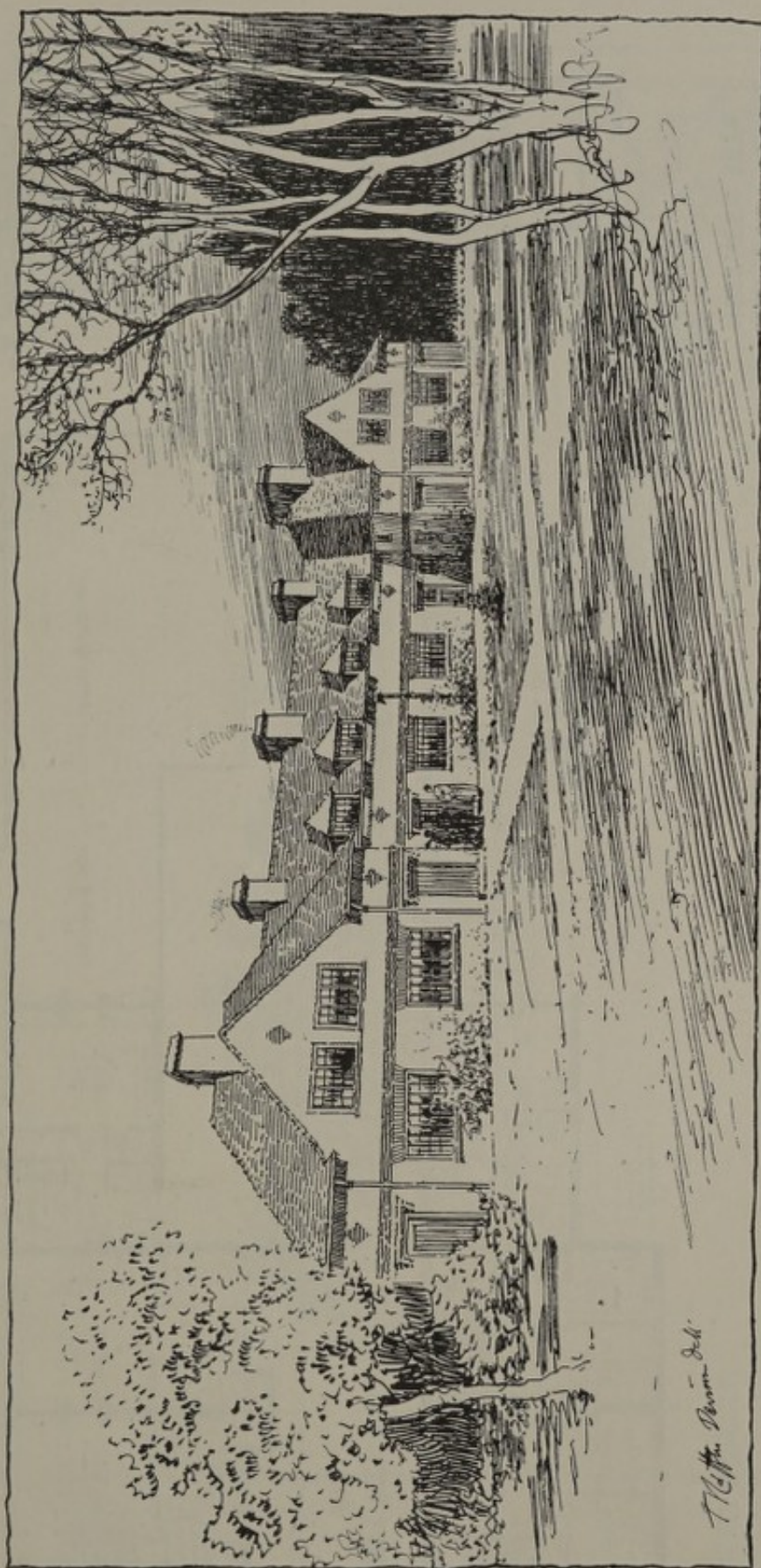
FRONT ELEVATION



SCALE OF 10 FEET

VI. NORTHERN AREA: CLASS A, FIRST PREMIUM.

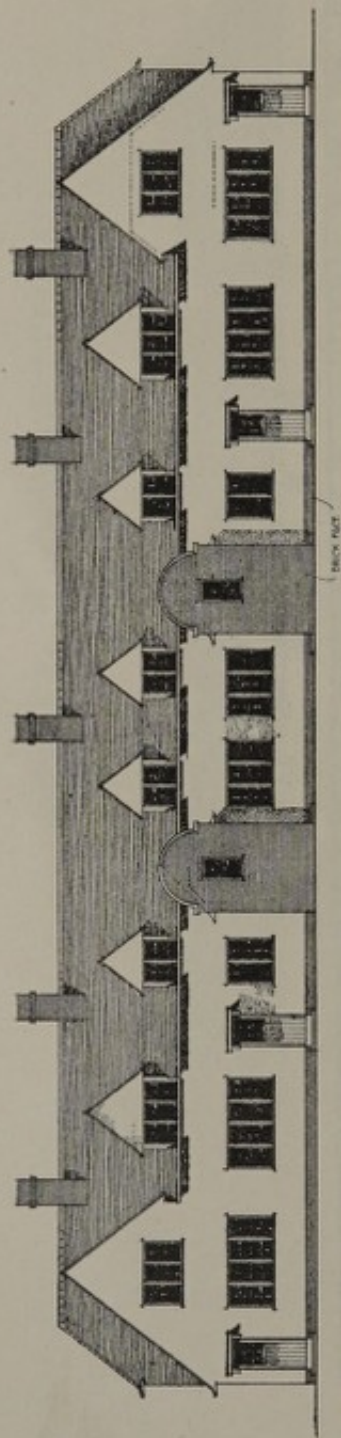
J. HERVEY RUTHERFORD
39 BOOTHAM, YORK



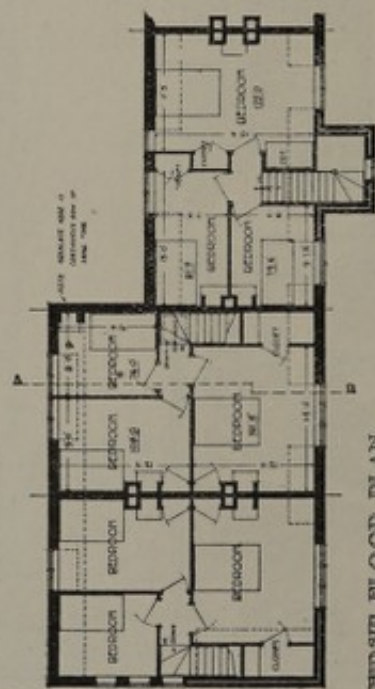
VI. NORTHERN AREA : CLASS A, FIRST PREMIUM.
J. Hervey Rutherford (York).

PROPOSED WORKMEN'S DWELLINGS: CLASS A

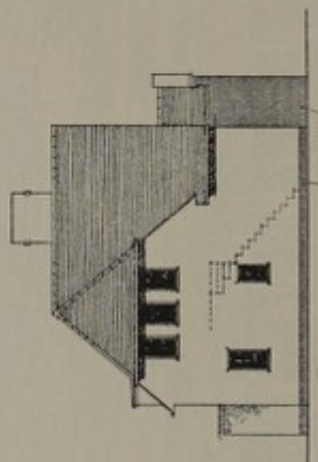
NORTHERN AREA



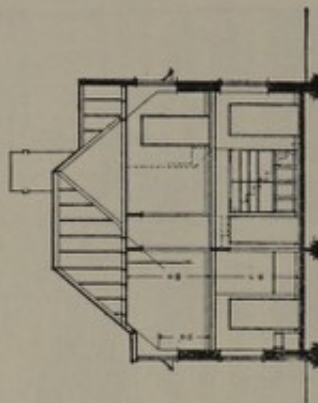
FRONT ELEVATION.



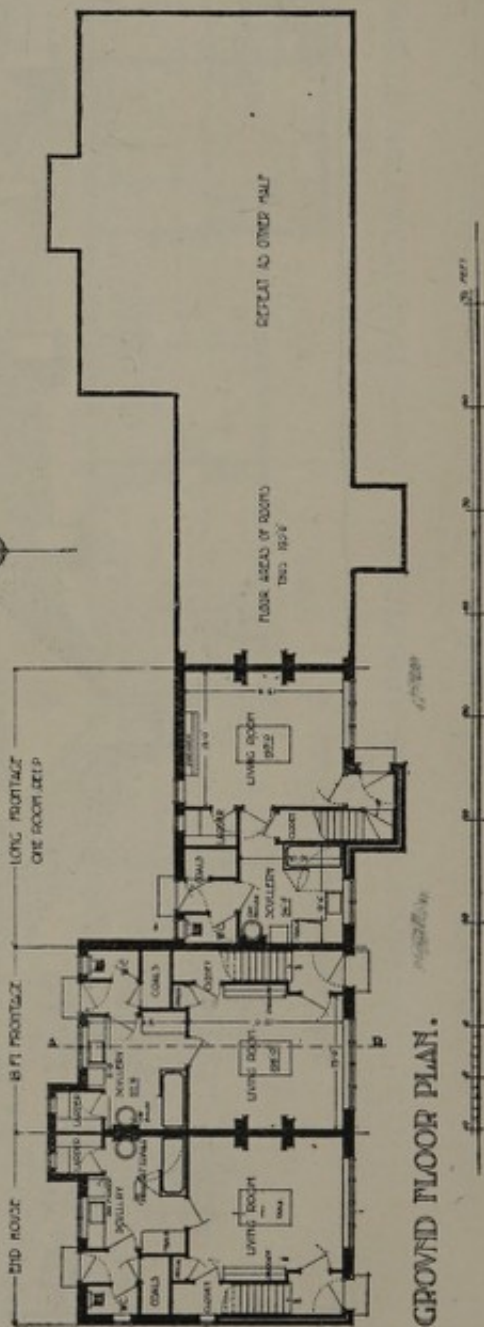
FIRST FLOOR PLAN.



END ELEVATION.



SECTION A-B.



GROUND FLOOR PLAN.

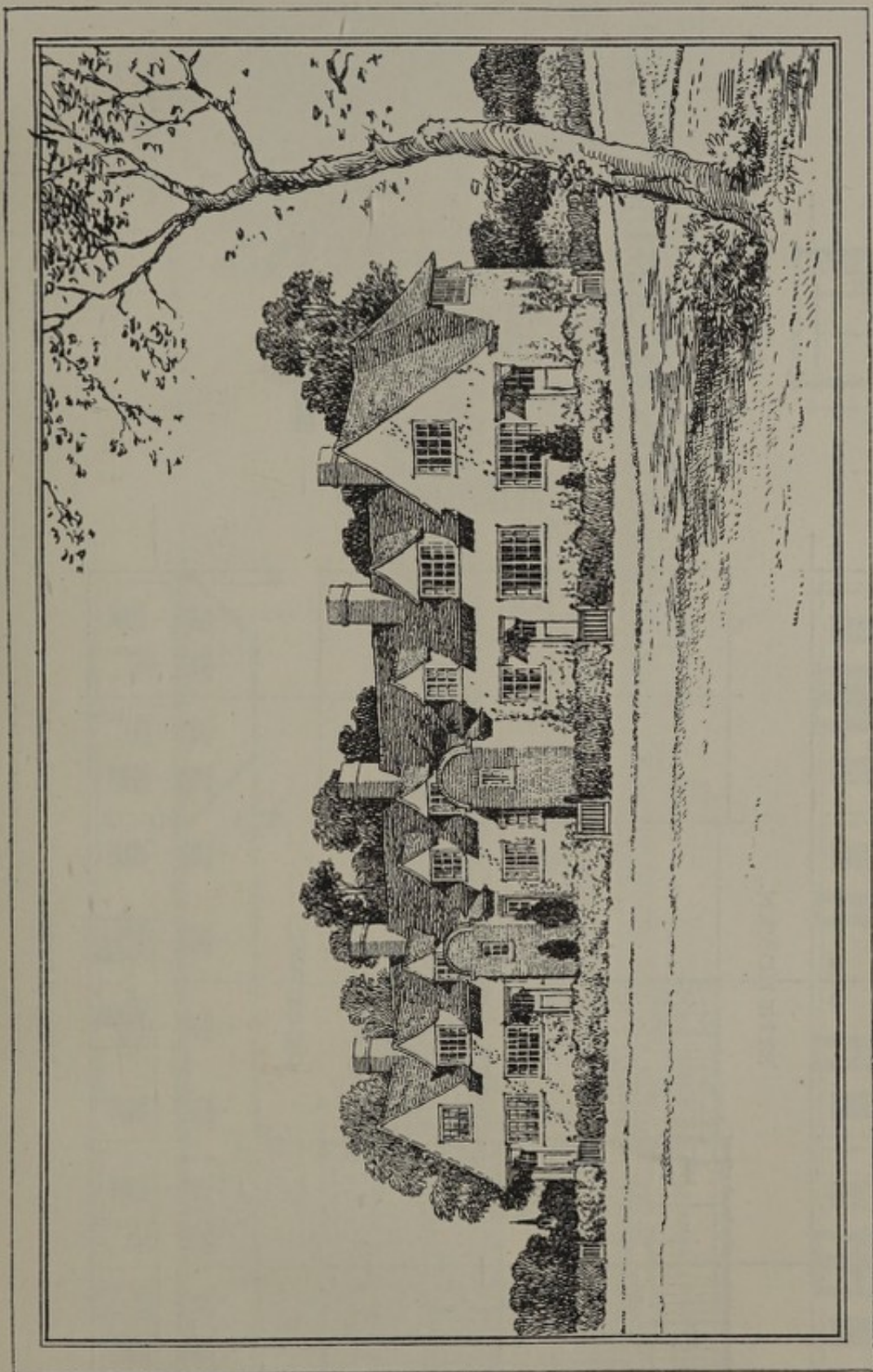
CUBIC CONTENTS			
END HOUSE	WITH GABLE	9,050 CUBIC FEET	
END HOUSE	WITH GABLE	9,600 " "	
LONG HOUSE	WITH GABLE	9,745 " "	

MATERIALS	
OUTER WALLS	OF BRICK WITH 3/4 IN. SLAB
OR IN DISTRICTS WHERE MATERIALS ARE	AVAILABLE OF HOLLOW CONCRETE BLOCKS
IN BOTH CASES BUILT ON OUTER FACE	OF BRICKS BATTENED IN BRICK ALL OTHERS
2 1/2 IN. PLASTER COMPOSITION SLABS	
CLOSED ON GROUND FLOOR CENTRAL CONCRETE	
WITH COMPOSITION PLASTER IN ROOMS ON FIRST	
FLOORS WOOD JOISTING AND FLOORING, OR	
LIGHT REINFORCED CONCRETE WITH COMPOSITION	
PLASTER IN SUITABLE DISTRICT	
ROOFED WOOD PLANKED AND COVERED WITH	
SLATED OR TILED	
HEATING PROVIDED IN CONNECTION WITH GAS	
HEATED COPPER WITH TANK OVER	

ALEX. INGLIS.

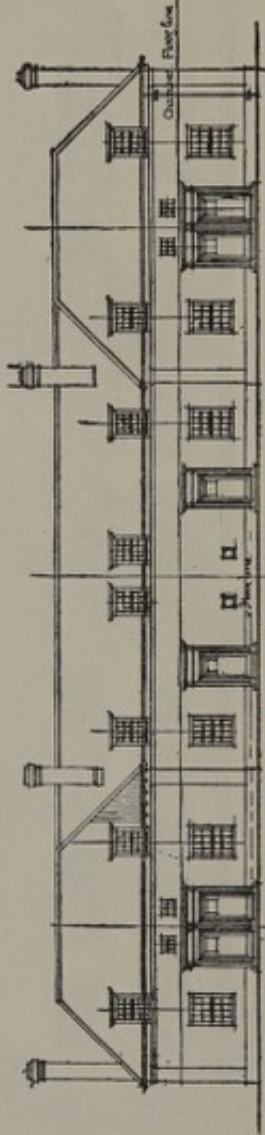
58 WEENSLAND ROAD, HAWICK

VII. NORTHERN AREA : CLASS A, SECOND PREMIUM.

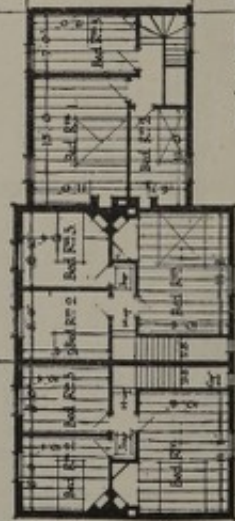


VII. NORTHERN AREA : CLASS A, SECOND PREMIUM.

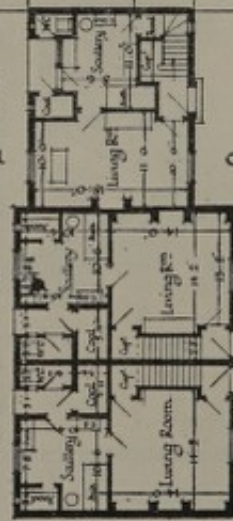
Alex. Inglis (Hawick).



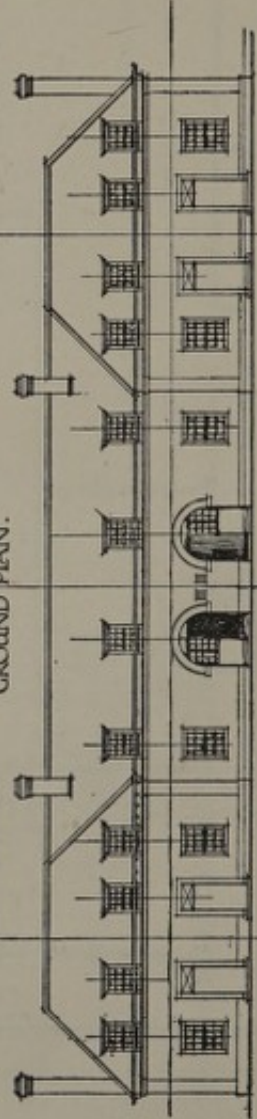
FRONT ELEVATION.



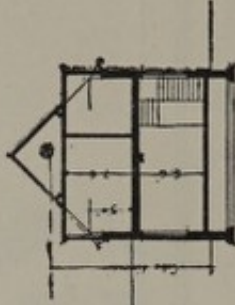
CHAMBER PLAN.



GROUND PLAN.



BACK ELEVATION.

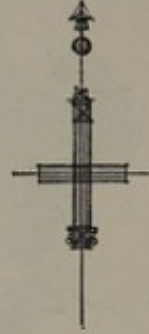


SECTION. A.A.

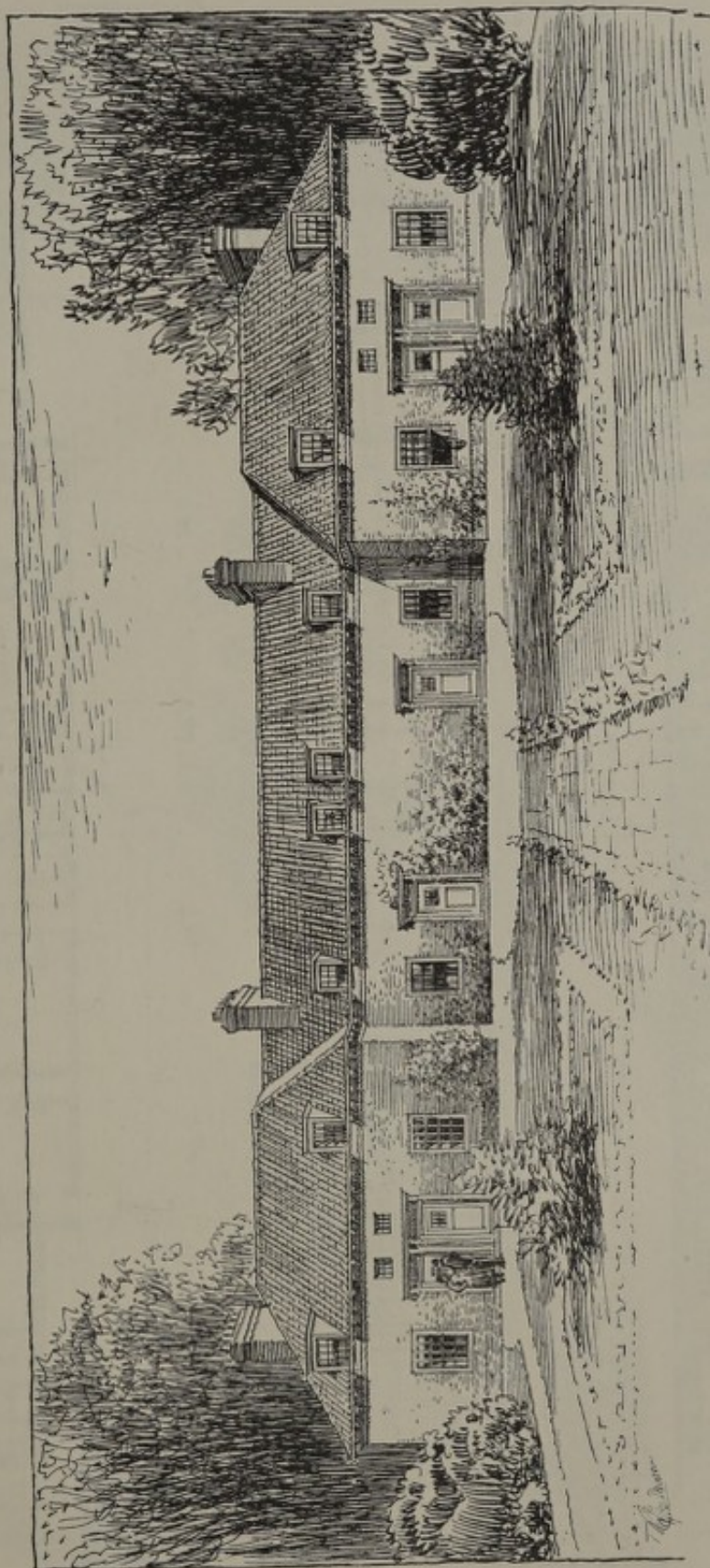
Note—this section could be the same as being shown in sheet D.

R.I.B.A. CLASS. A. COTTAGE COMPETITION. MIDLAND AREA

Notes—
Walls built up in common brick, 11" thick, with
lime mortar. Plaster to be in living Rm. & study etc.
Living Rm. floor covered with oak, elsewhere—
Rugs covered with pattern tiles or tiles, stone, cement,
etc. to be in Rm. & bath—
Cupboards covering to be in kitchen— sides of doors to be
in living Rm. & bath—
Sash windows on 1st floor where walls are not
covered up—
Sash windows on 2nd floor where walls are not
covered up—
Sash windows on 2nd floor where walls are not
covered up—
Sash windows on 2nd floor where walls are not
covered up—

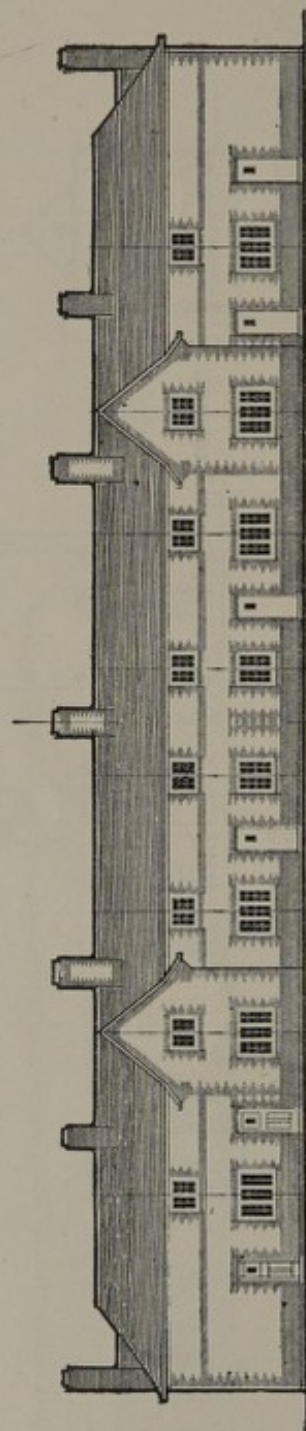


STOCKDALE HARRISON & SONS
7 ST MARTINS LANE
LEICESTER



VIII. MIDLAND AREA : CLASS A, FIRST PREMIUM.
Stockdale Harrison & Sons (Leicester).

NATIONAL HOUSING SCHEME. MIDLAND AREA.

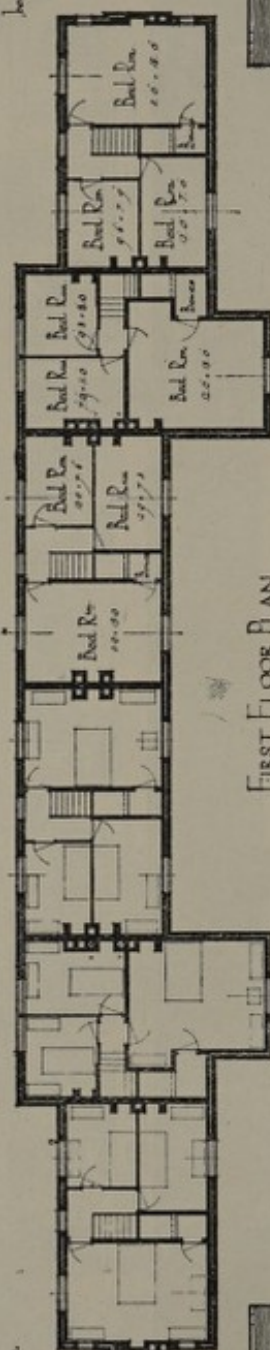


FRONT ELEVATION

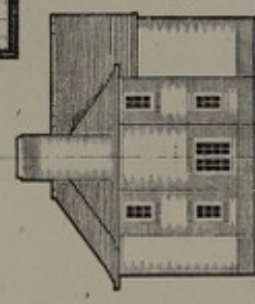
Note.
The Council in this case propose to
supply a building with a three
storey and a half structure in
which a double, in order to make
double the number of the lot
all about half the width.

Materials.
All the cement laid shall be
sufficient for the purpose of filling the
large concrete piers, and the
walls on concrete floors and
blanks or boarding on concrete
boarding on joists. The walls.

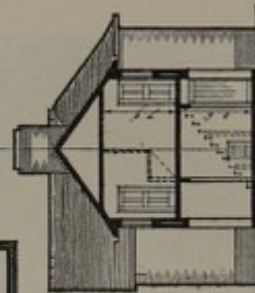
Scale of measurements 0 10 20 30 40 50 60 70 80 90 100 feet



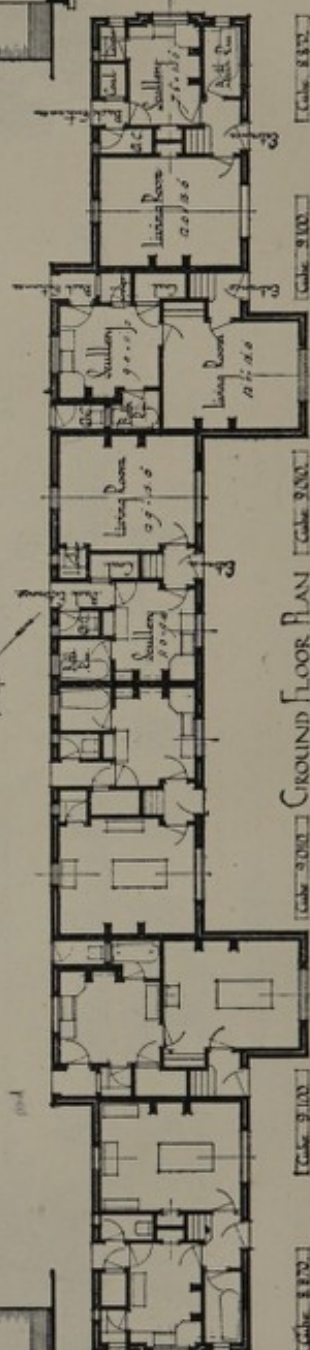
FIRST FLOOR PLAN



SIDE ELEVATION

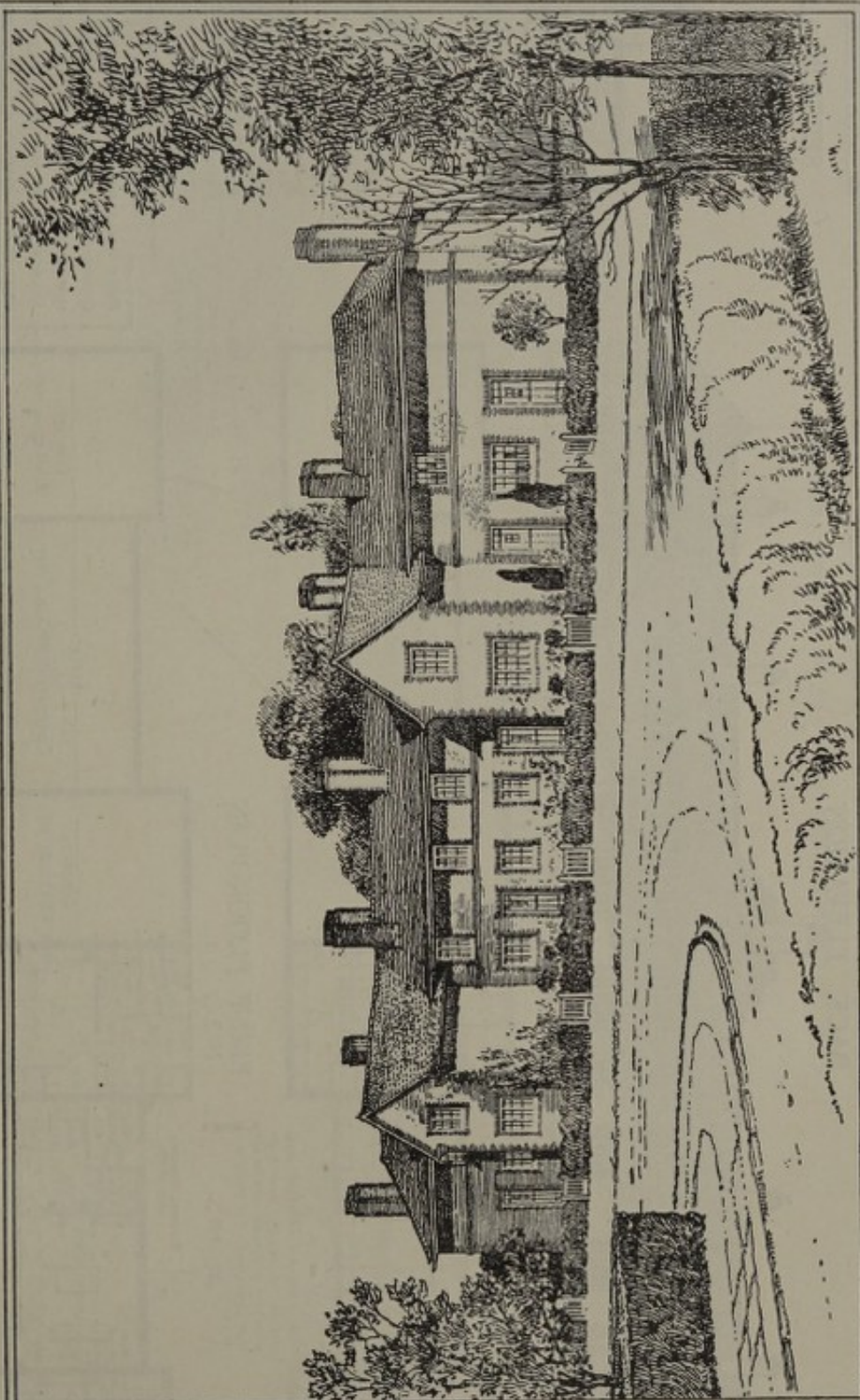


SECTION.



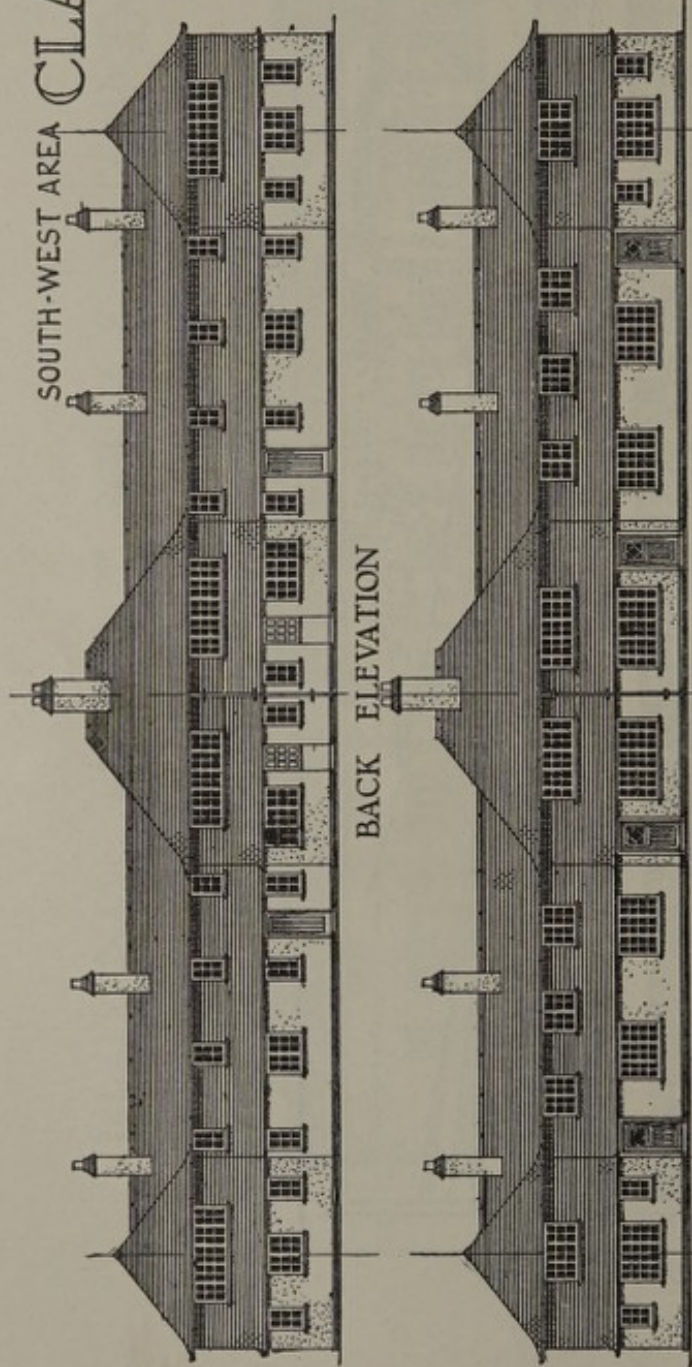
GROUND FLOOR PLAN

IX. MIDLAND AREA : CLASS A, SECOND PREMIUM.



IX. MIDLAND AREA : CLASS A, SECOND PREMIUM.
N. B. Robertson.

SOUTH-WEST AREA CLASS A.



SECTION A.A.

SECTION B.B.

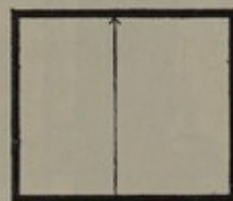
SECTION C.C.

DESCRIPTION

PARTY WALLS AND CHIMNEY BREASTS IN BRICKWORK. GROUND FLOOR EXTERNAL WALLS OF HOLLOW CONCRETE COVERED WITH ROUGHCAST. DWARF PLINTH OF 9 BRICK. 5" CONCRETE SLAB PARTITIONS. FIRST FLOOR EXTERNAL WALLS OF WOOD FRAMING HUNG WITH UPRIGHT SLATING. GROUND FLOORS OF CONCRETE WITH CEMENT FLOATING. SLATED ROOFS DISPOSED SO AS NOT TO REQUIRE DOWNER WINDOWS THUS REDUCING CUTTING AND THE USE OF LEAD GUTTERS ETC TO A MINIMUM.

ELEVATION

FRONT

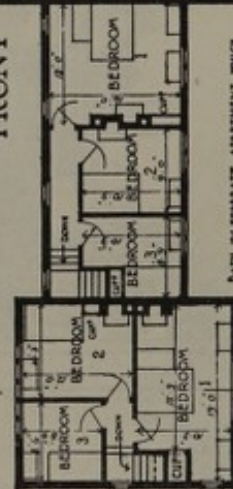


REPEAT

H. L. THORNTON & SONS,
3 SUSSEX TERRACE,
PRINCESS SQUARE,
PLYMOUTH.

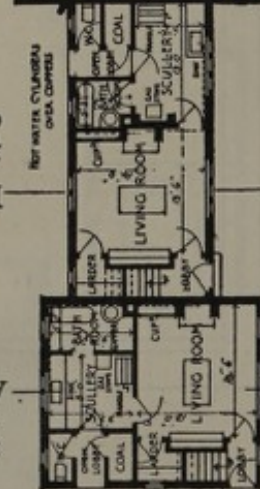
FIRST FLOOR PLAN

No 2



BATH IN TERRACE APARTMENT WHICH CAN ALSO BE USED AS A WASH HOUSE. BATH CAN BE SUPPLIED WITH HOT WATER FROM CORNER WHEN THE RANGE IS NOT IN USE.

No 3



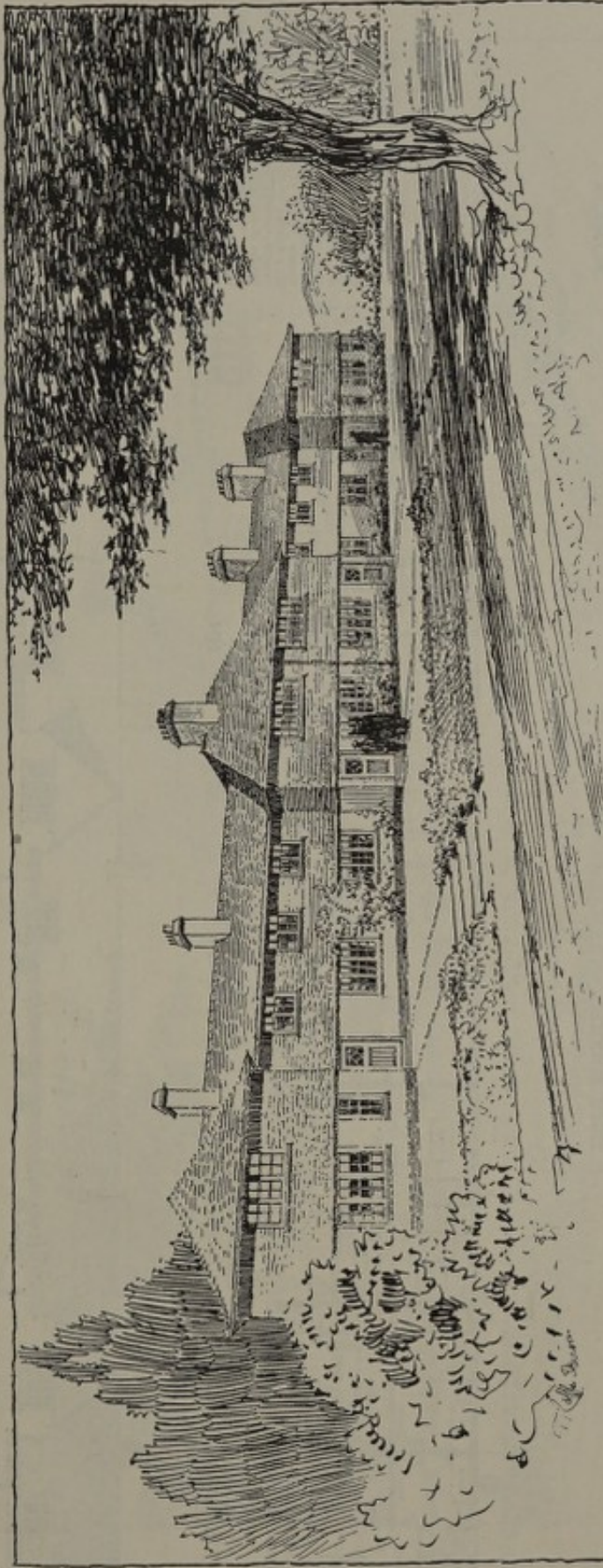
HOT WATER COLUMBIAS ORCA COPPERS

GROUND FLOOR PLAN

FIRST PREMIUM £100

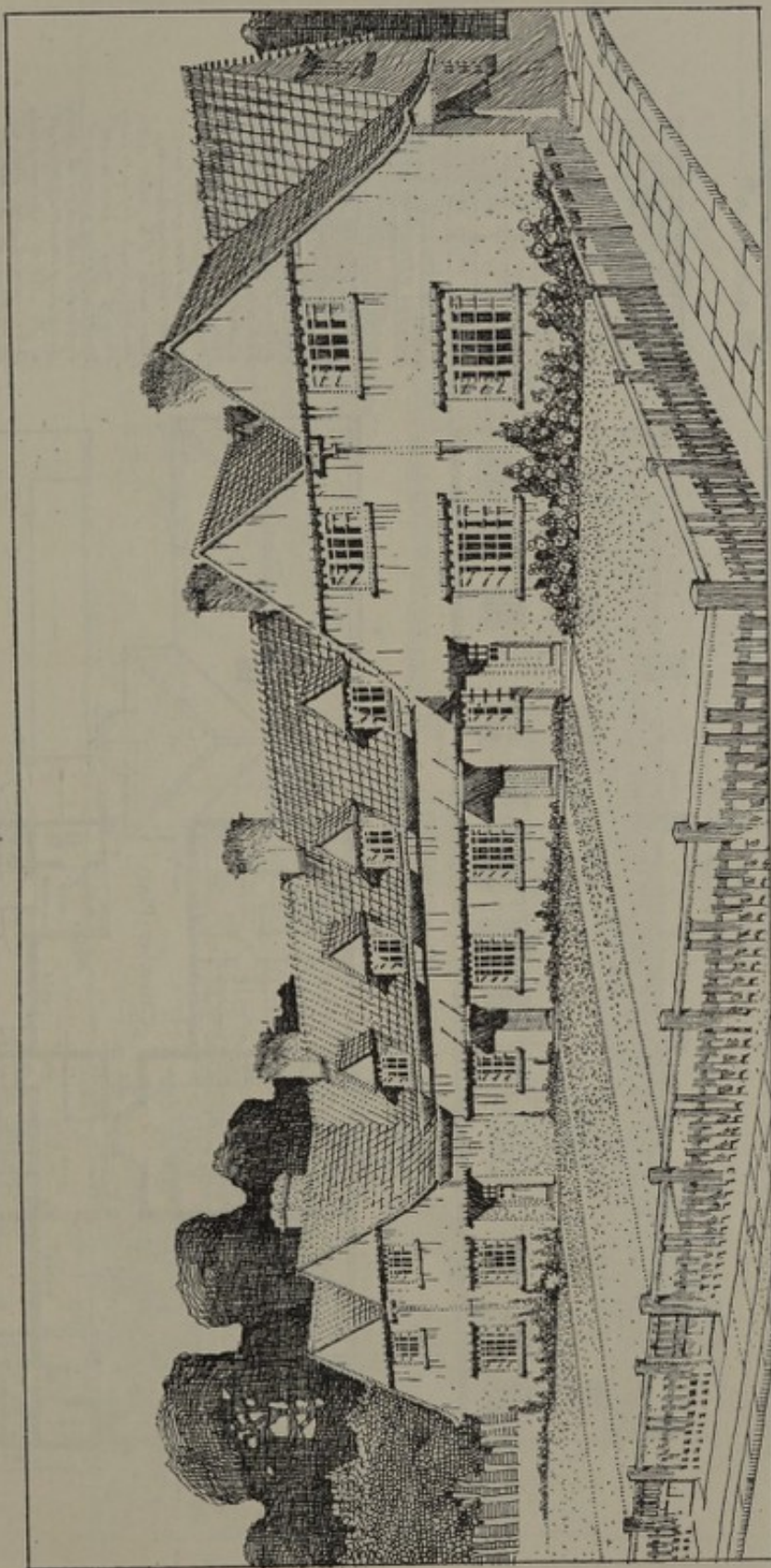
FEET

X. SOUTH-WEST AREA : CLASS A, FIRST PREMIUM.



X. SOUTH-WEST AREA : CLASS A, FIRST PREMIUM.

H. L. Thornely & Rooke (Plymouth).



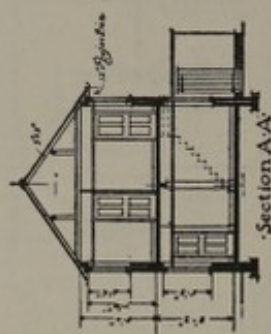
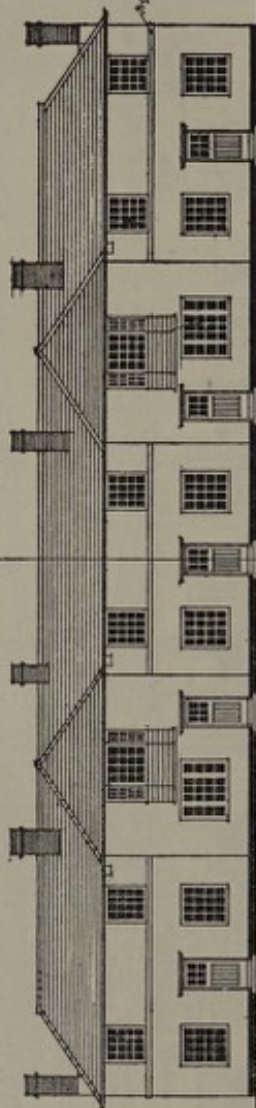
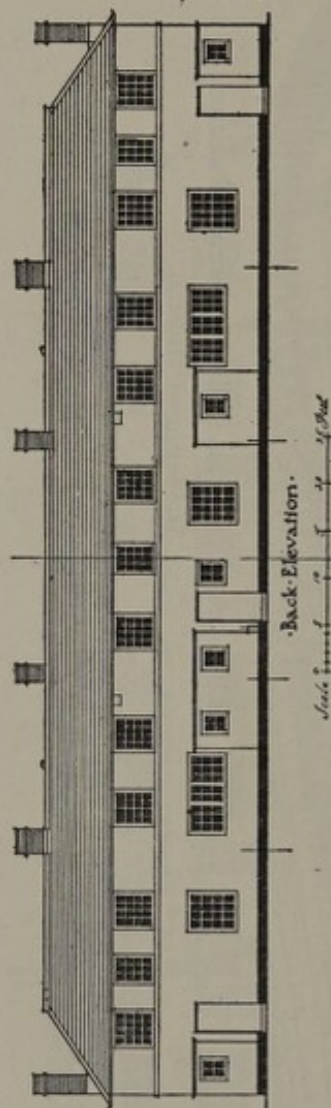
XI. SOUTH-WEST AREA : CLASS A, SECOND PREMIUM.
H. Heathman (Bristol).

Cyril A. Farcy, delt.

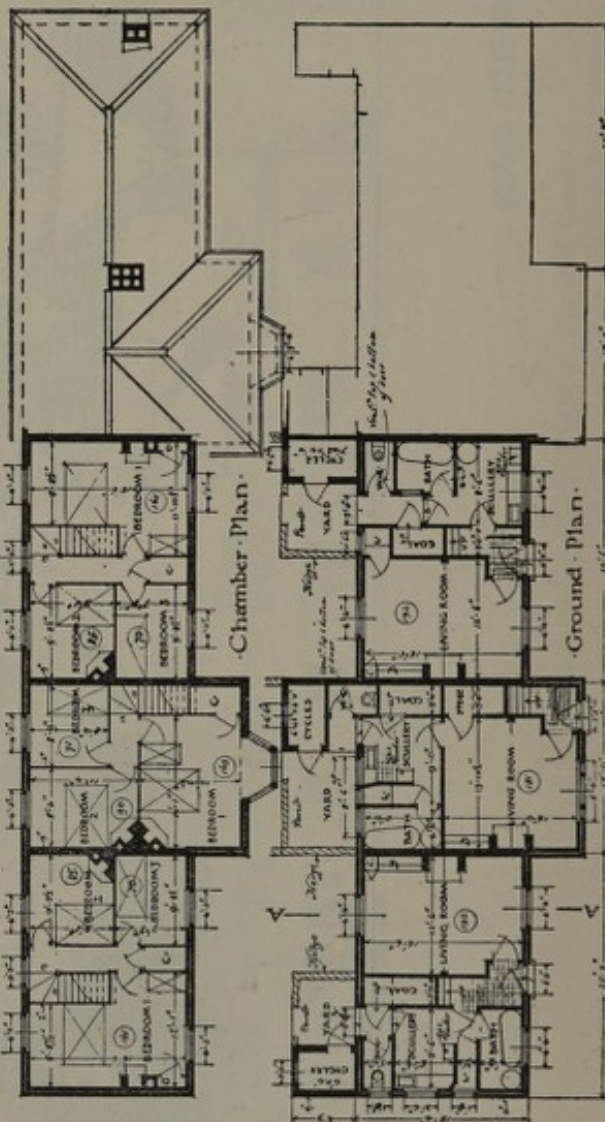
LOCAL GOVERNMENT BOARD COMPETITION FOR COTTAGES

South Wales
Area

Class A



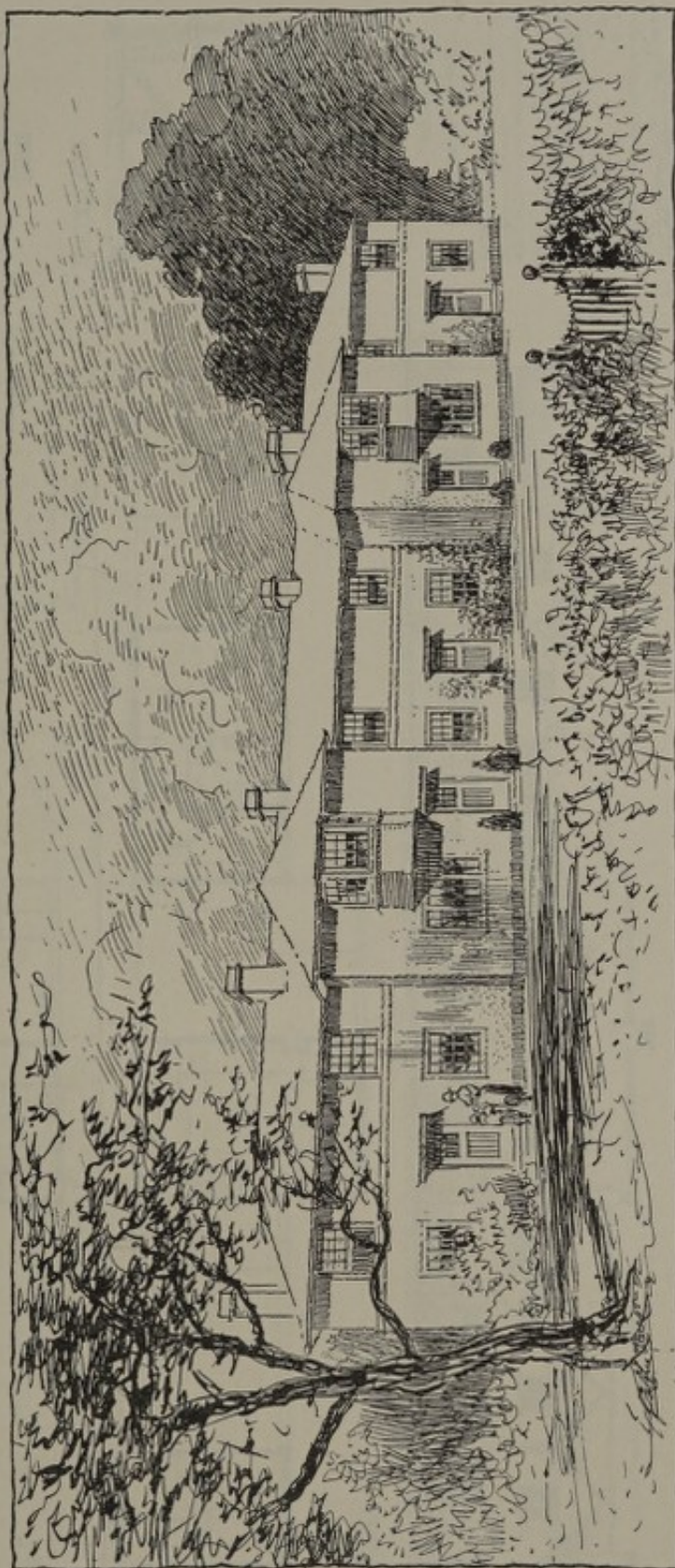
Room	No. 1	No. 2	No. 3
Area in sq. ft.			
LIV. RM.	19.2	18.1	19.1
SCULLY	6.0	6.0	6.2
BATH	3.8	3.6	3.0
LARDER	1.0	1.0	1.0
B.R. No. 1	16.1	16.3	16.1
B.R. No. 2	8.5	9.0	8.5
B.R. No. 3	7.0	7.1	7.0
SHED	1.4	2.5	2.9
Total built up area	9376	9000	9660



NOTES: To be built of
solidly with cement. Different
floors to be treated with
different surfaces. Walls covered
with grey stucco. Ground floor
to be covered with living Room
having 18" wood block. First
floor to be covered with
on 3/4" but from a minimum of
Room. The flooring being done
floor down. The stairs to be
planned complete the front being
1/2" from 1/2" to 1/2" and
boards with a strong projecting
front covered with stucco and showing
the roughing concrete 1/2" thick with
in with 1/2" the front over opening
boards covered with 1/2".

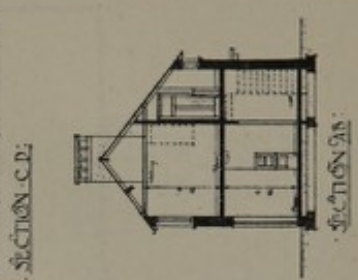
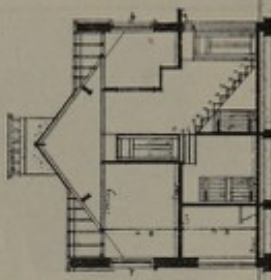
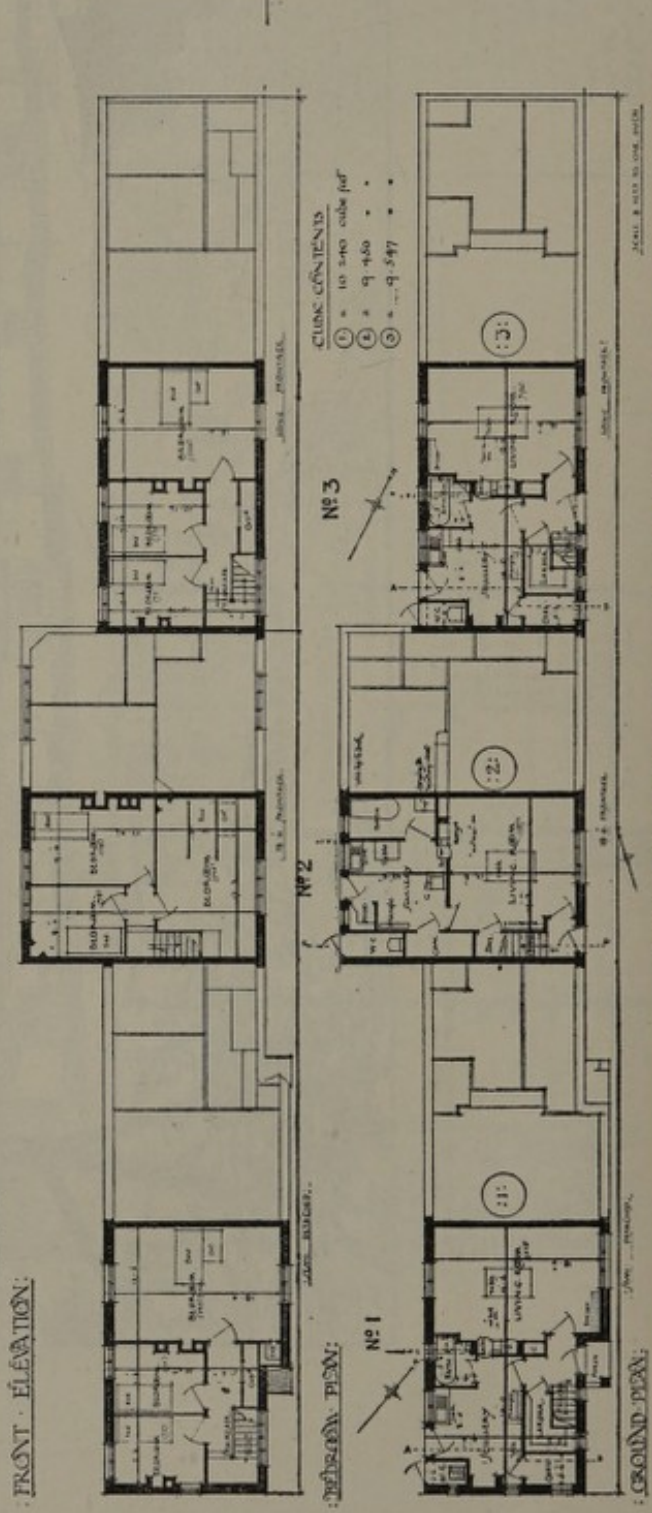
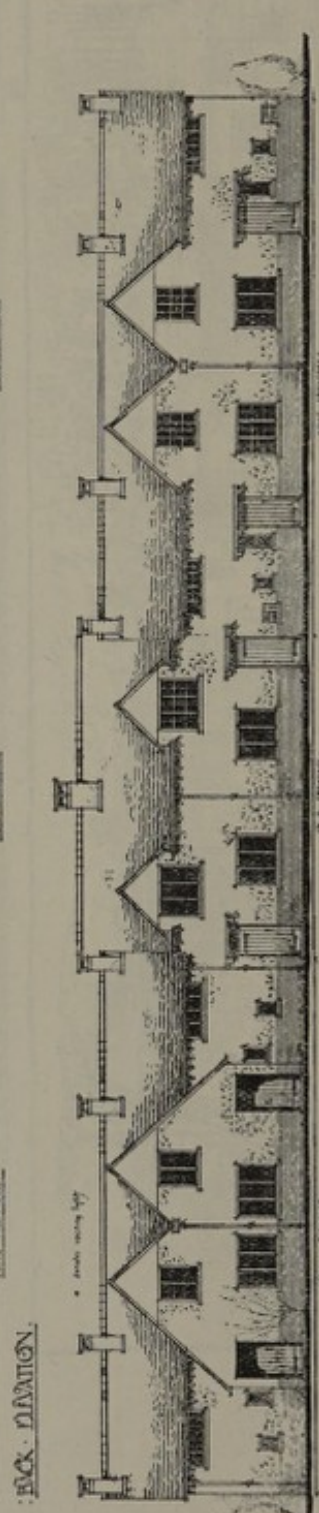
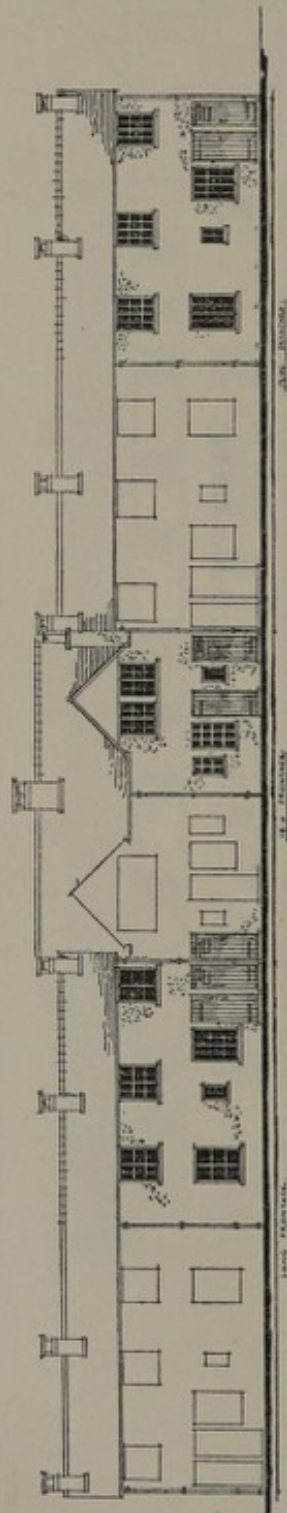
But buildings do not do. Rooms
over front doors to be covered with
masonry on edge cast in place with
limestone. Windows all 1/2" thick
painted cream. Doors covered
green. Upper floor back water
large with side lower floor
supported by back water
All aspect will not except No. 2.

J. A. HILLAM
45 PARTRIDGE ROAD
CARDIFF

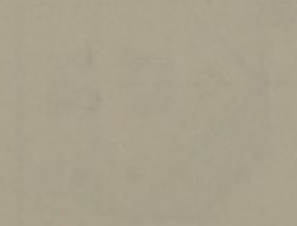
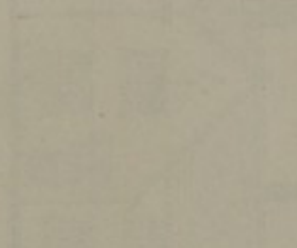
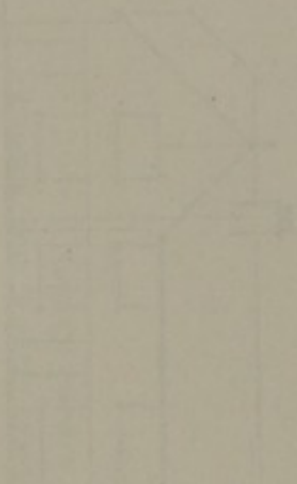
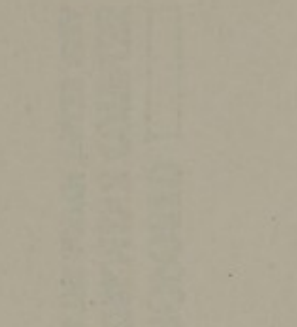
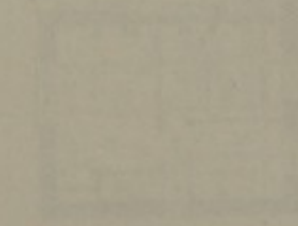
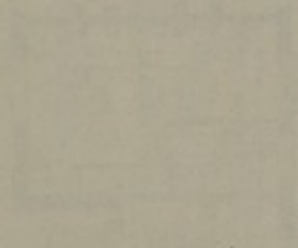
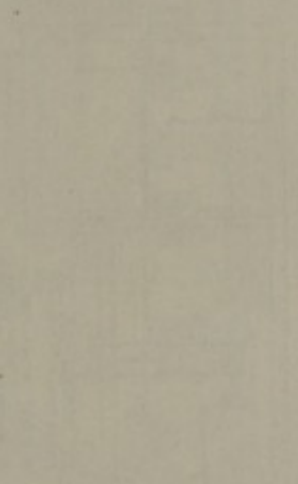
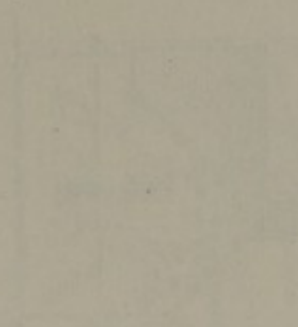
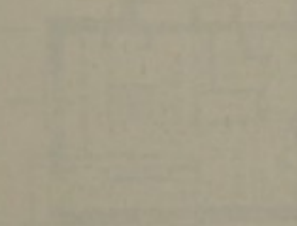
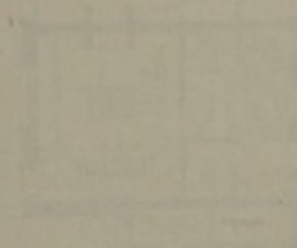
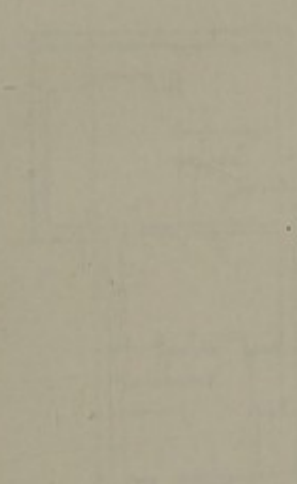


XII. SOUTH WALES AREA: CLASS A, FIRST PREMIUM.
J. A. Hallam (Cardiff).

:COTTAGE : COMPÉTITION :
SOUTH WALES AREA :CLASS.A:

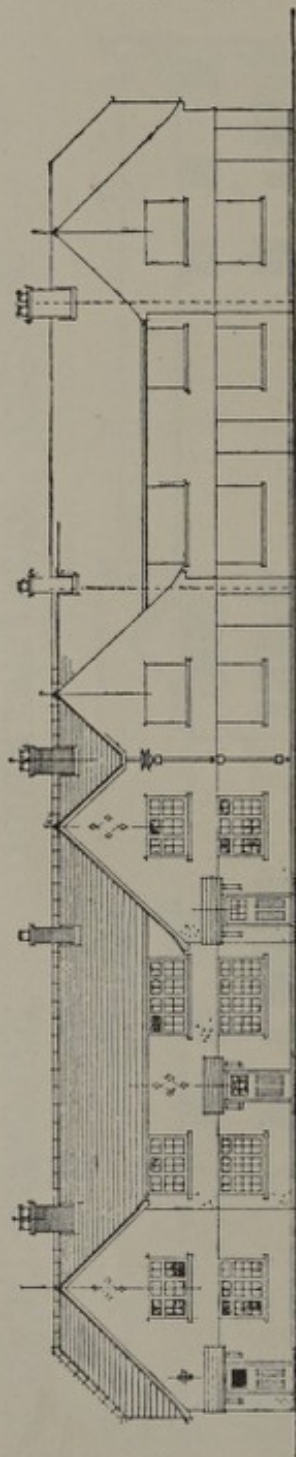
JOHNSON & RICHARDS
ALBERTA TRAIL

XIII. SOUTH WALES AREA: CLASS A, SECOND PREMIUM.

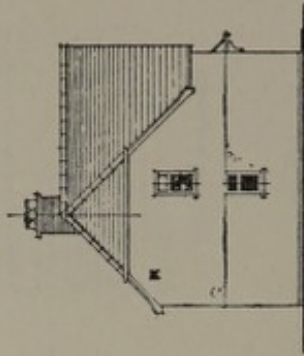


PROPOSED WORKMEN'S COTTAGES FOR THE SOUTH WALES AREA

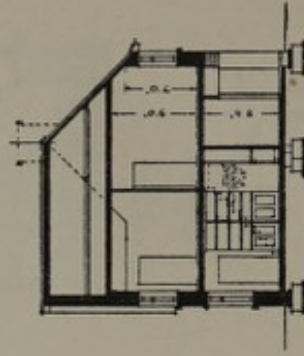
SCALE: 8 FT TO 1 INCH



FRONT ELEVATIONS

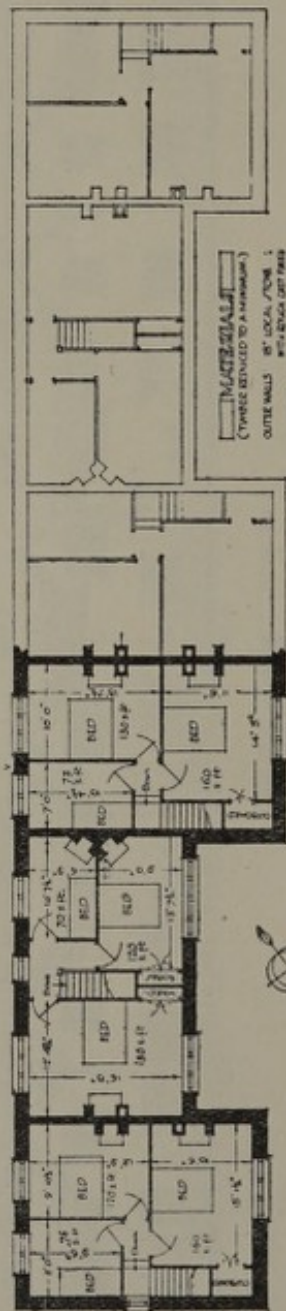


END ELEVATION



SECTION A-A

THOMAS A. BEVAN
QUEEN'S COLLEGE, GREEN SPIRES
CARDIFF



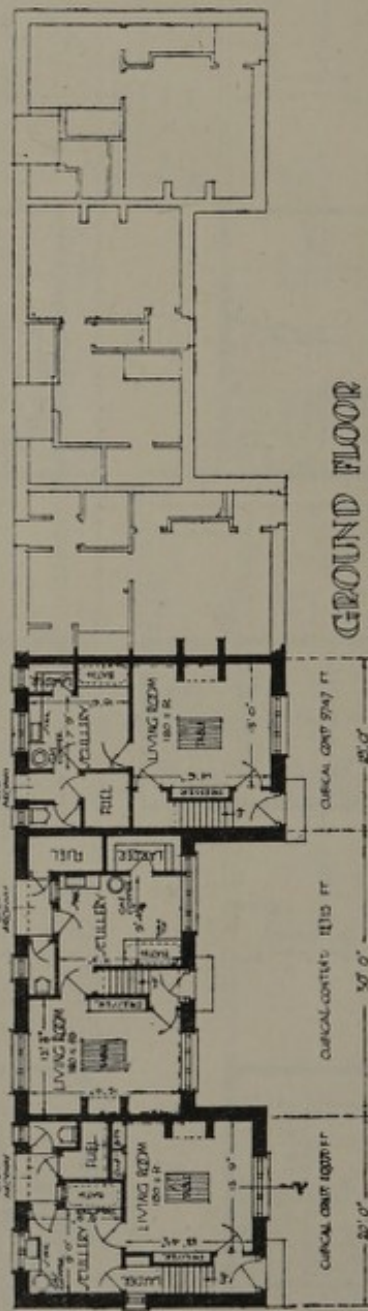
FIRST FLOOR PLANS

No 1

No 3

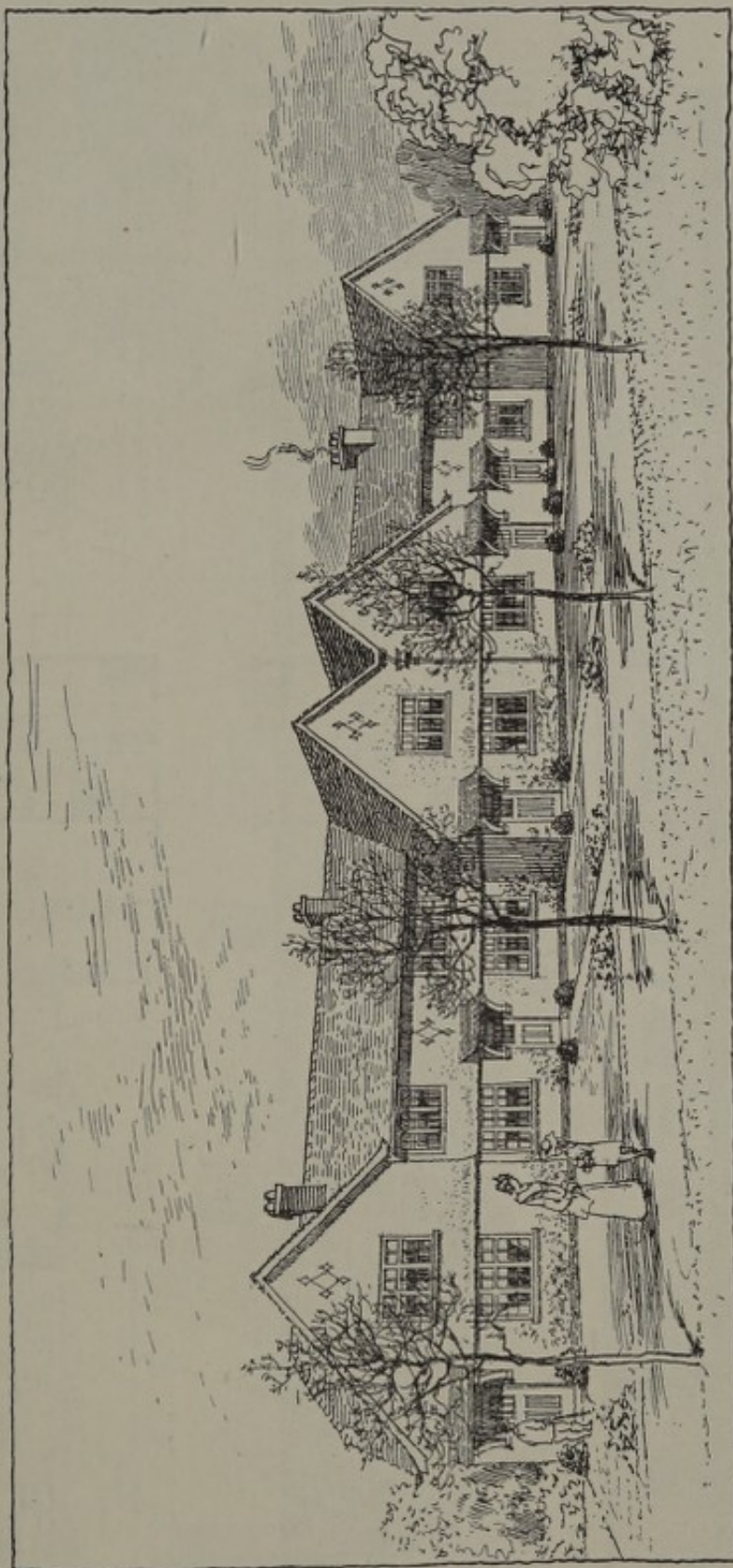
No 2

MATERIALS
(WHERE REFERRED TO IN PARAGRAPHS)
OUTER WALLS 8" LOCAL STONE
OF SLABE BUILT UP 1" 4" INDOOR
PARTS 1" 4" INDOOR PLATE
LOWER FLOOR CONCRETE
UPPER FLOOR 11" 4" CONCRETE
ROOF 1" 4" 11" 4" 11" 4" 11" 4"
WITH CORRUGATED IRON
RAFTERS 4" PLATED
DOOR & WINDOW LINTELS 4" 11" 4" 11" 4" 11" 4"



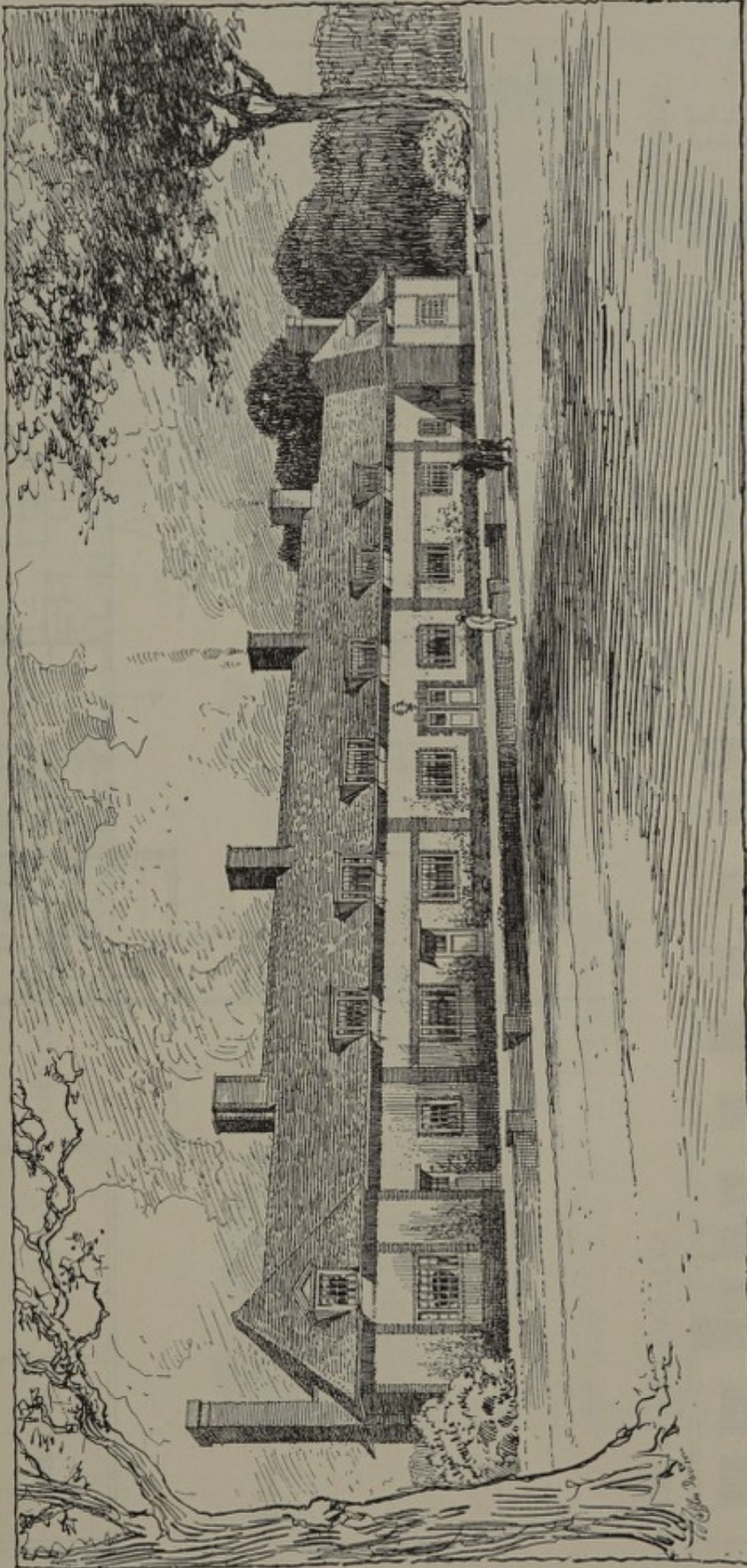
GROUND FLOOR PLANS

IF THE SAME GROUND FLOOR WOULD
BE BUILT IN THE SOUTH WALES AREA
IT WOULD BE 11' 4" 11' 4" 11' 4" 11' 4"



XIV. SOUTH WALES AREA : CLASS A, HON. MENTION.

Thomas A. Bevan (Cardiff).



XV. HOME COUNTIES AREA : CLASS B, FIRST PREMIUM.

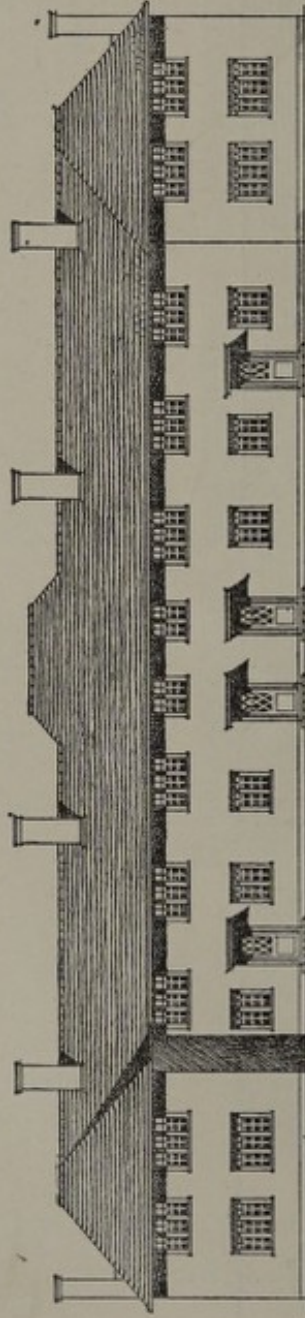
Alfred Cox.

COTTAGE COMPETITION

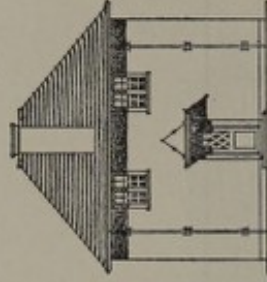
HOME COUNTIES AREA

CLASS B.

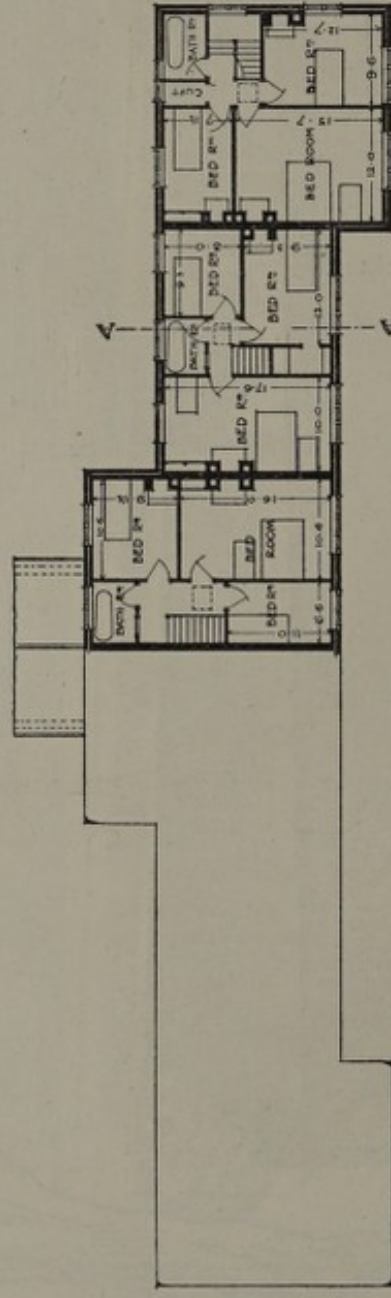
54



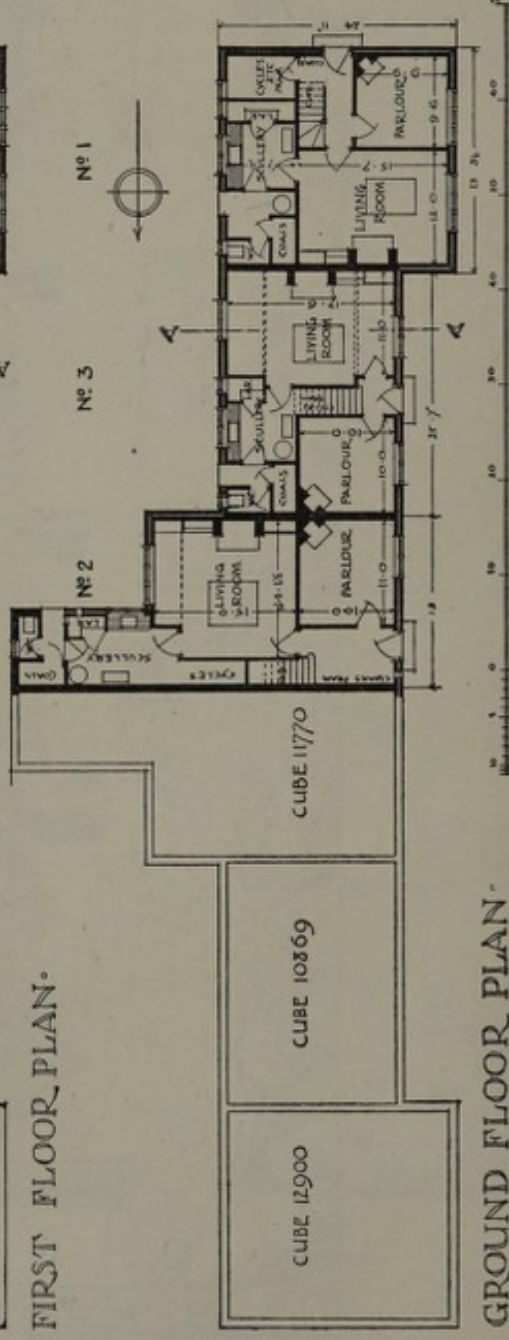
FRONT ELEVATION.



SIDE ELEVATION.

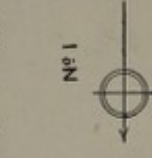


FIRST FLOOR PLAN.



GROUND FLOOR PLAN.

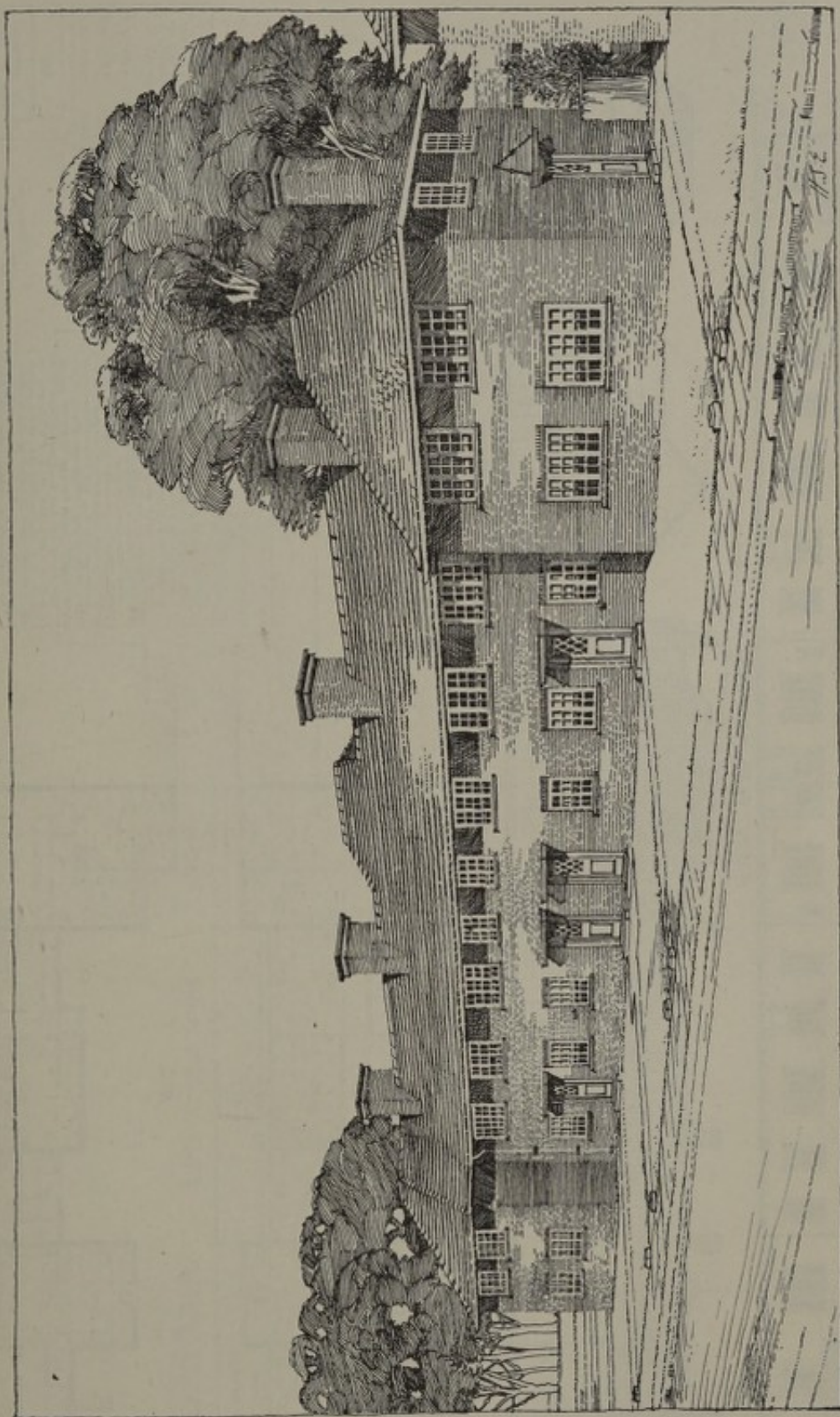
No 1
No 2
No 3



FOUNDATIONS 6" CONCRETE.
IF HOLLOW BRICK OR WHERE THERE ARE
UNDESIRABLE HOLLOW WALLS OF CONCRETE
SLABS OUTER 3" INNER 4" TIED TOGETHER.
GROUND FLOOR CONCRETE. FIRST FLOOR
HOLLOW BEAMS 8X11 AS DESIGNATED OR KLENE
THESE HAVE CENTRAL LINING OR REINFORCED
CONCRETE WITH STANDARD CENTRAL LINING.
THE ABOVE ASSUMES THAT TIMBER CANNOT
BE OBTAINED ON THE SOLID FLOOR. A
LAYER OF HAIR FELT & LINDOLINUM
HOME GROWN TIMBER. SLATES OR TERRAZO
CORRUGATED TILES. RAFTERS & BATTENS
WITH FELT UNDER. SAITHEAS
COVERED IN ALUMINUM SHEETS
SLATE.
EAVES
WOODS
H.M. SUPPLY
WINDOWS
SHEETS
PARTITIONS
K.C.B. OR SIMILAR SYSTEM.
CASEMENTS ALL TO OPEN IN. UPPER PART OF
SHEETS LIGHT IN EACH WINDOW WITH COFFER
SHEETS IN HOLLOW BEAMS.
PARTITIONS 1/2 BRICK OR CONCRETE SLABS

COURTENAY M. CRICKMER
1 Lincoln's Inn Fields, W.C.2

XVI. HOME COUNTIES AREA : CLASS B, SECOND PREMIUM.



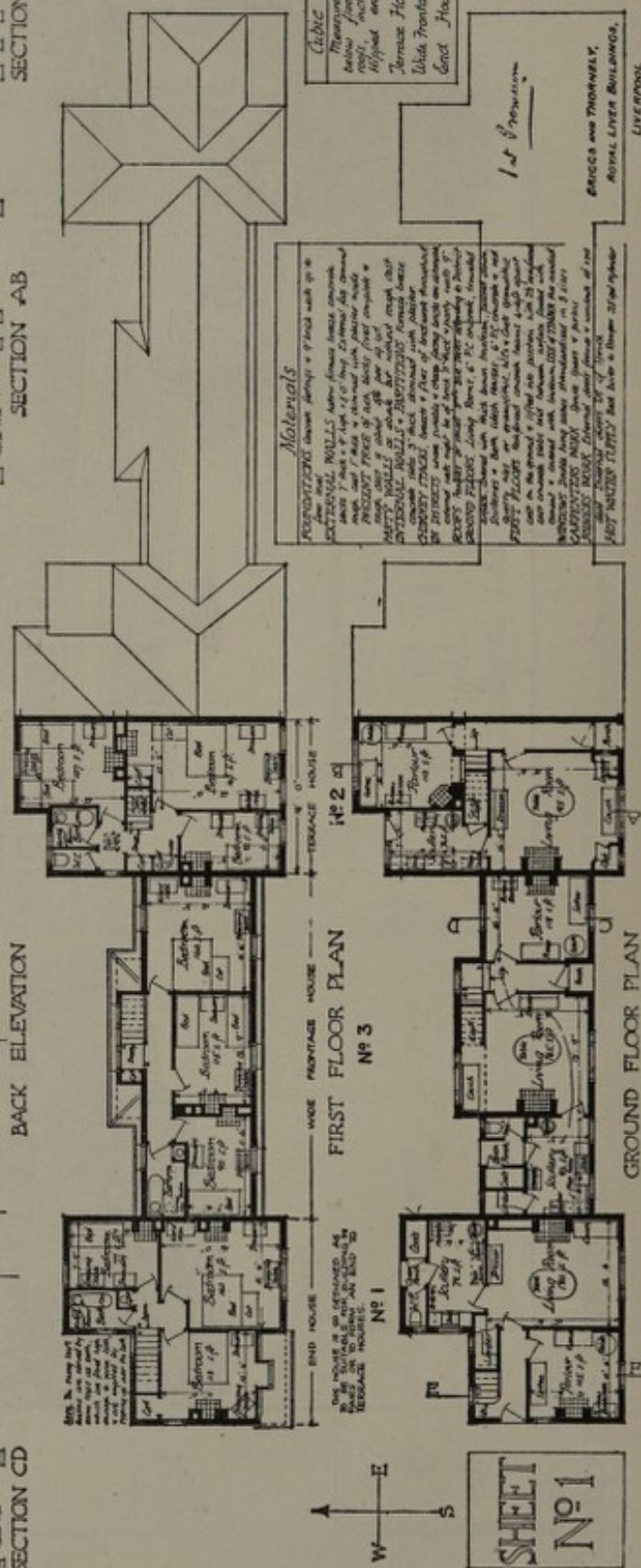
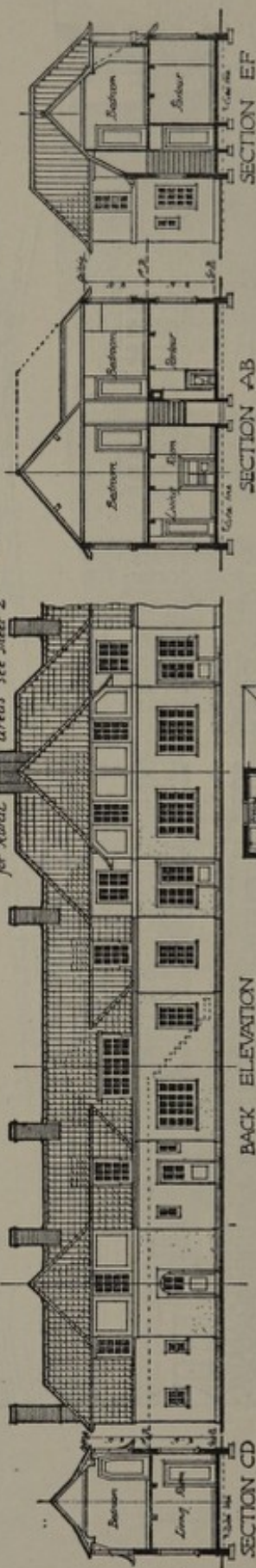
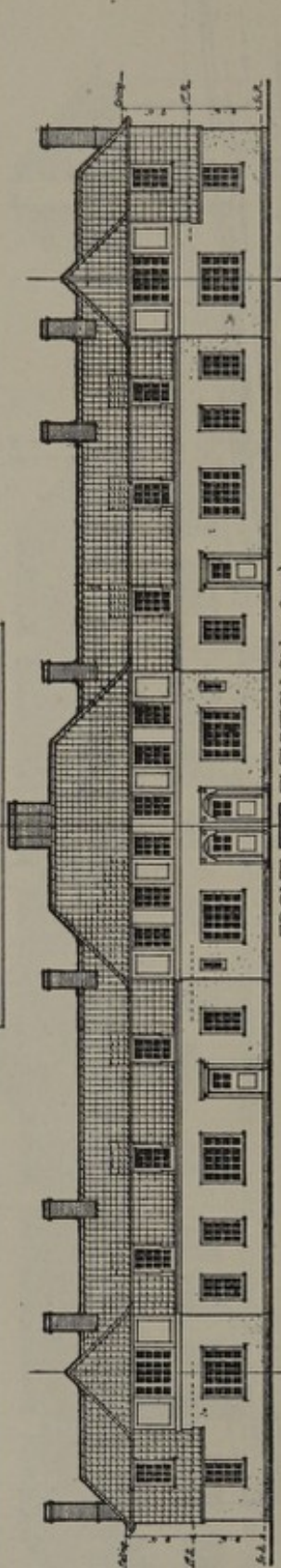
XVI. HOME COUNTIES AREA : CLASS B, SECOND PREMIUM.
Courtenay M. Crickmer.

HOUSING OF THE WORKING CLASSES
IN ENGLAND & WALES

CLASS "B"

MANCHESTER & LIVERPOOL AREA

SCALE 1/8" = 1' 0"



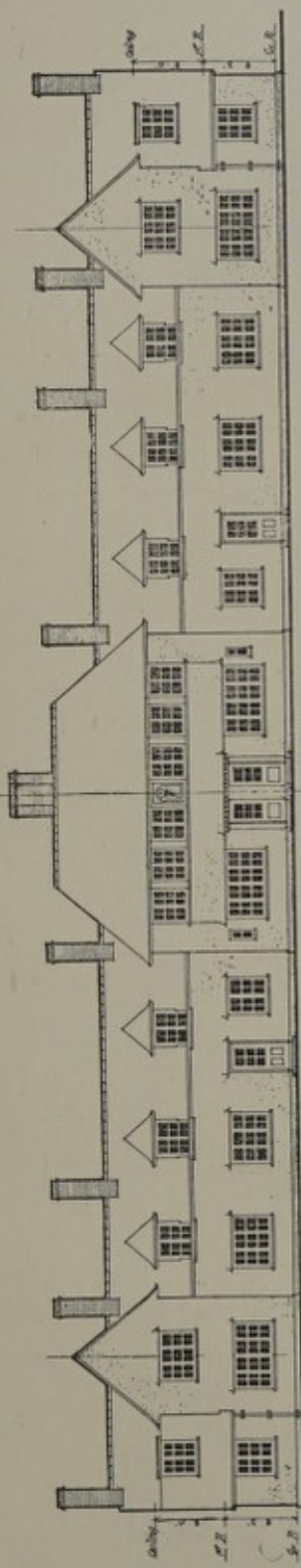
Cubic Contents
Measured from 1 foot below floor at highest up roof, including drainage pipes and gutters.
Terrace House 2200 c.f.
Ultra Terrace 2075 c.f.
End House 2025 c.f.

Notes
The superficial area of roof is given not after deducting chimney stacks and gables.
Gables.

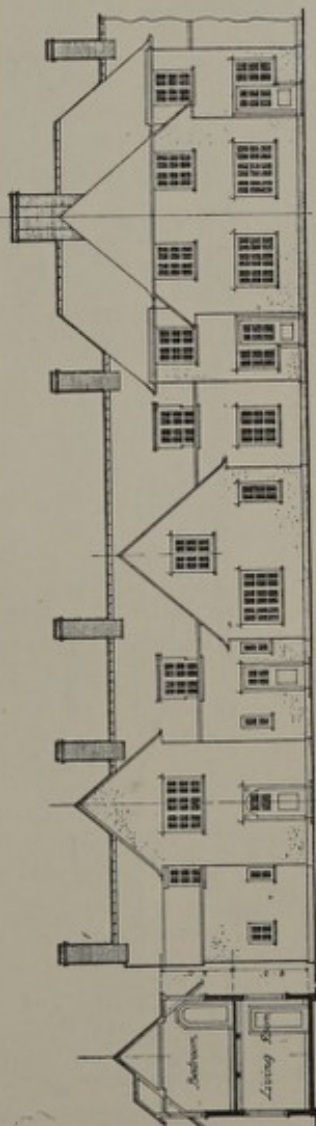
Materials
Representative houses built in 1910 with up to 1000 sq. ft. of roof.
WALLS: 1000 sq. ft. of wall, 1000 sq. ft. of roof, 1000 sq. ft. of floor, 1000 sq. ft. of garden, 1000 sq. ft. of terrace, 1000 sq. ft. of driveway, 1000 sq. ft. of parking, 1000 sq. ft. of garage, 1000 sq. ft. of shed, 1000 sq. ft. of outbuilding, 1000 sq. ft. of other structures.
FLOORS: 1000 sq. ft. of floor, 1000 sq. ft. of roof, 1000 sq. ft. of garden, 1000 sq. ft. of terrace, 1000 sq. ft. of driveway, 1000 sq. ft. of parking, 1000 sq. ft. of garage, 1000 sq. ft. of shed, 1000 sq. ft. of outbuilding, 1000 sq. ft. of other structures.
ROOFS: 1000 sq. ft. of roof, 1000 sq. ft. of floor, 1000 sq. ft. of garden, 1000 sq. ft. of terrace, 1000 sq. ft. of driveway, 1000 sq. ft. of parking, 1000 sq. ft. of garage, 1000 sq. ft. of shed, 1000 sq. ft. of outbuilding, 1000 sq. ft. of other structures.
GARDENS: 1000 sq. ft. of garden, 1000 sq. ft. of floor, 1000 sq. ft. of roof, 1000 sq. ft. of garden, 1000 sq. ft. of terrace, 1000 sq. ft. of driveway, 1000 sq. ft. of parking, 1000 sq. ft. of garage, 1000 sq. ft. of shed, 1000 sq. ft. of outbuilding, 1000 sq. ft. of other structures.
TERRACE: 1000 sq. ft. of terrace, 1000 sq. ft. of floor, 1000 sq. ft. of roof, 1000 sq. ft. of garden, 1000 sq. ft. of terrace, 1000 sq. ft. of driveway, 1000 sq. ft. of parking, 1000 sq. ft. of garage, 1000 sq. ft. of shed, 1000 sq. ft. of outbuilding, 1000 sq. ft. of other structures.

1st Provision
BRICKS AND THROATERS,
ROYAL LIVER BUILDINGS,
LIVERPOOL.

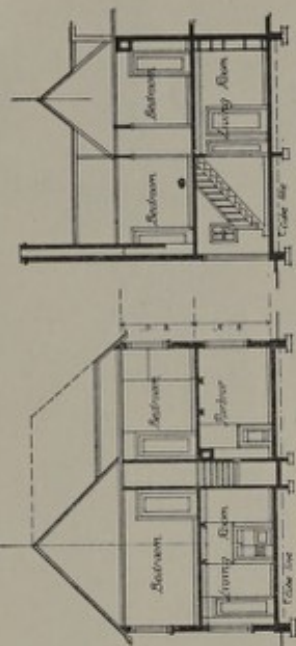
ELEVATIONS FOR RURAL AREAS



FRONT ELEVATION



BACK ELEVATION



SECTION A-B

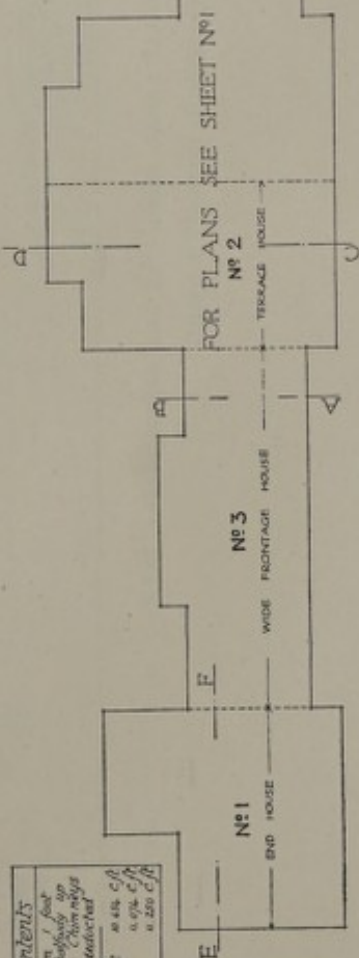
SECTION C-D

SECTION E-F

Cubic Contents
Measured from 1 foot
below floor to rafters up
Roof, including Chimneys
Hipped ends deducted
Terrace House 1145 C.F.
Wide Frontage 1174 C.F.
End House 1220 C.F.

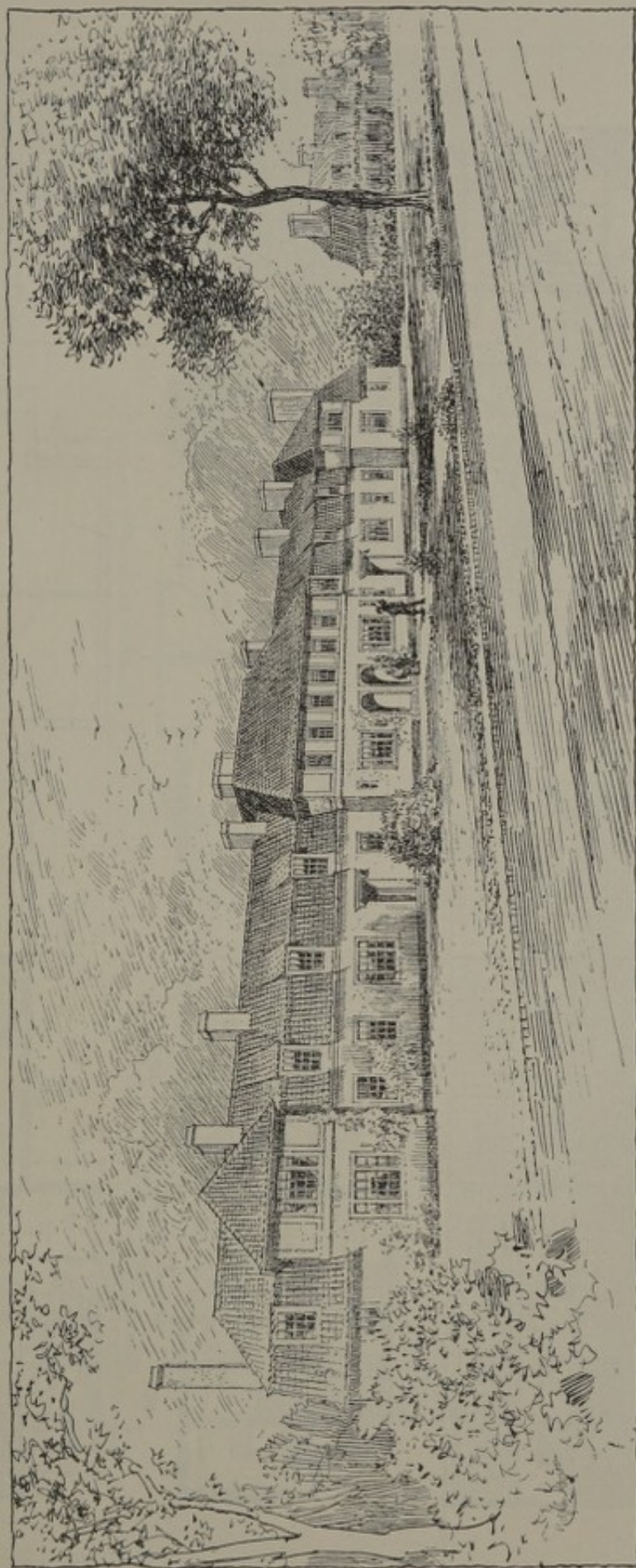
Materials
Windows Wood casements
Otherwise all as in
Sheet No 1

SHEET No 2

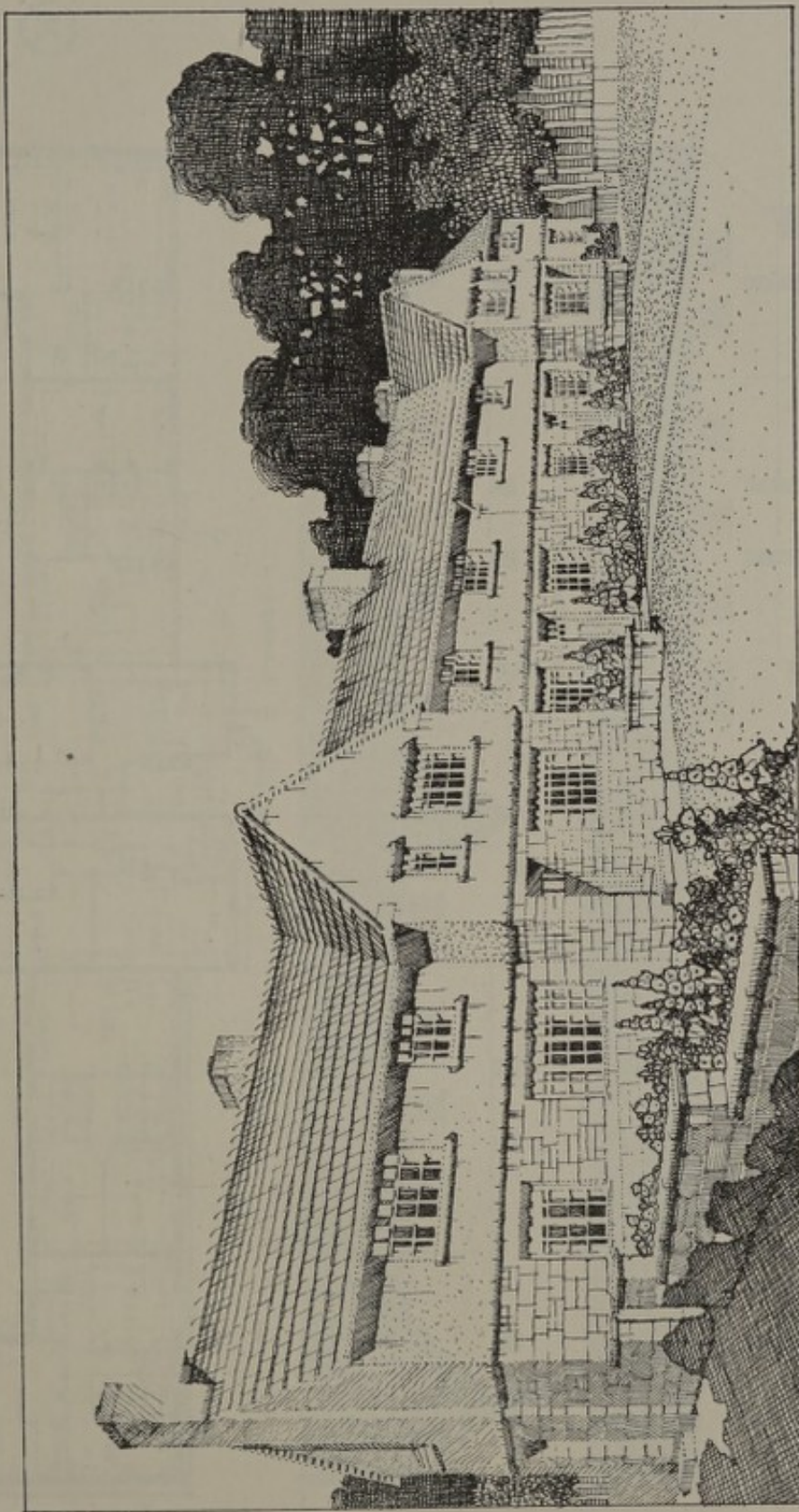


FOR PLANS SEE SHEET No 1

BRIGGS AND THORNELY
ROYAL LIVER BUILDINGS
LIVERPOOL



XVII. MANCHESTER AND LIVERPOOL AREA : CLASS B. FIRST PREMIUM.
Briggs & Thornely (Liverpool)



Cyril A. Farey, delt.

XVIII. NORTHERN AREA : CLASS B, FIRST PREMIUM.

Alex. T. Scott.

CLASS B

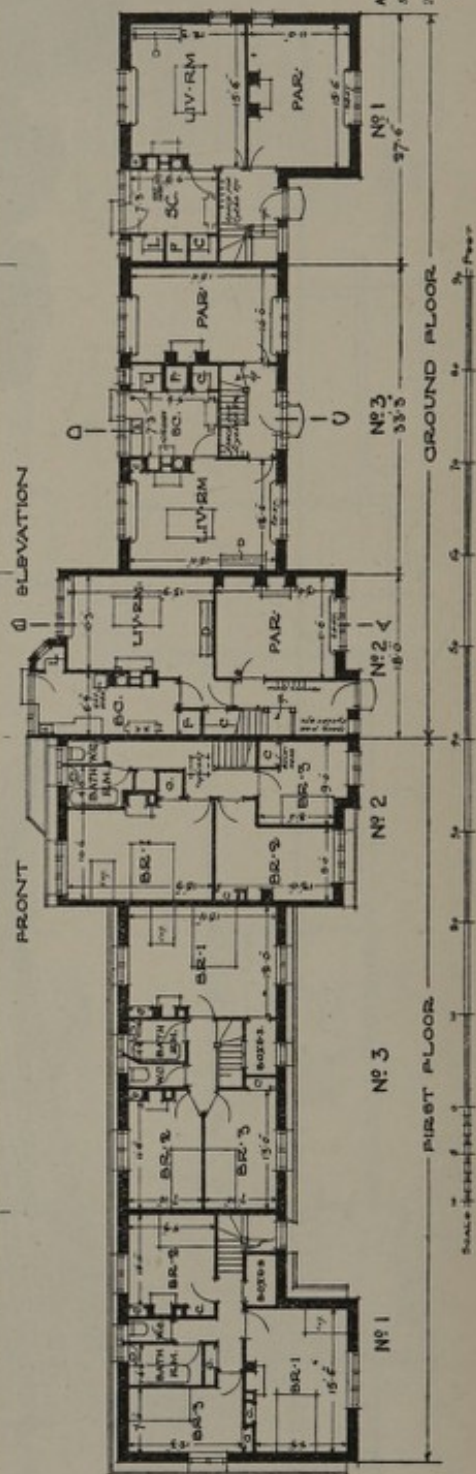
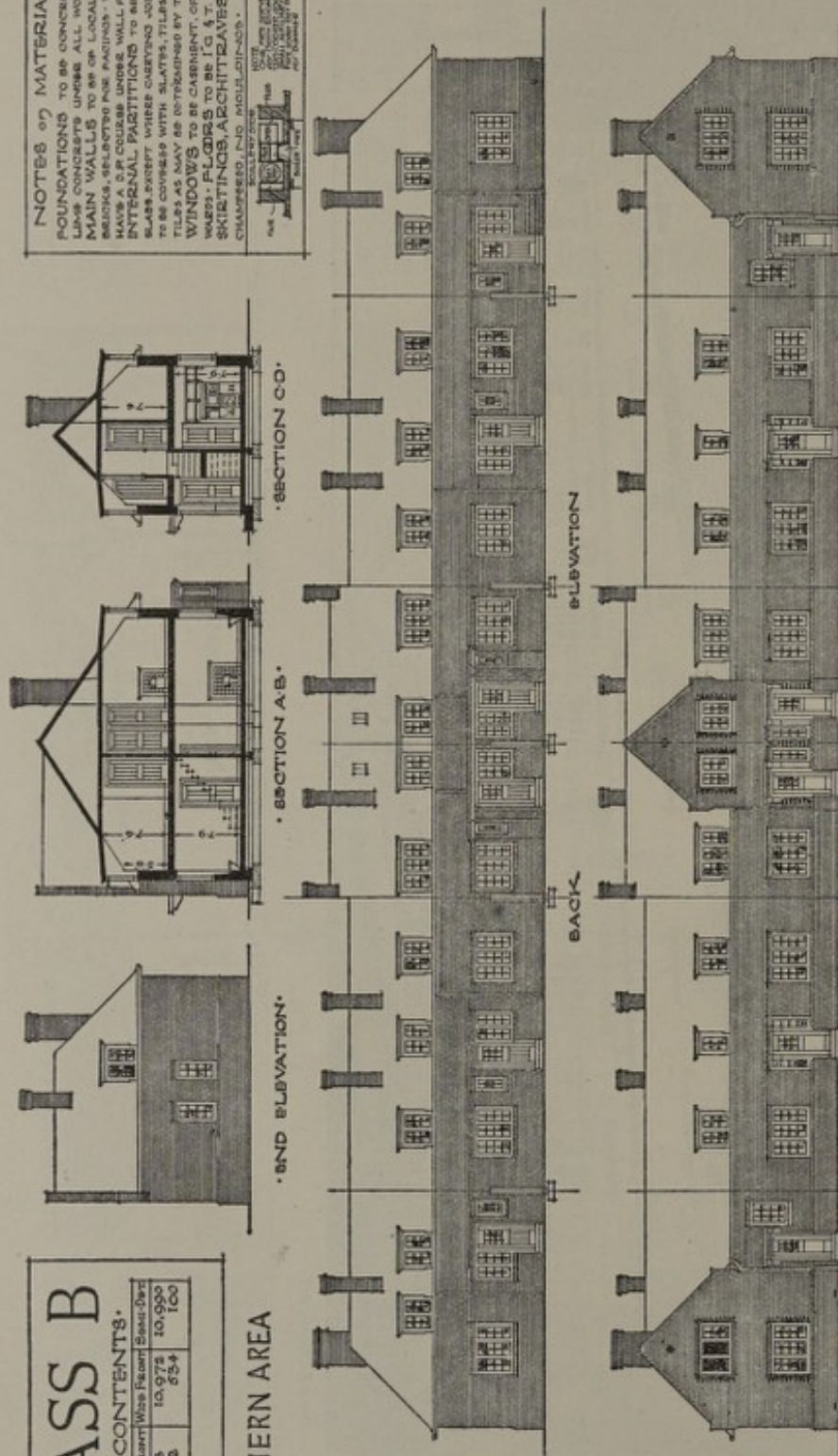
• CUBIC CONTENTS •

QUANTITY	10 Per Cent	When Per Cent	Base Cost
11,418	10,972	10,950	100
653			

NORTHERN AREA

NOTES ON MATERIALS ETC.
FOUNDATIONS TO BE CONCRETE, 4' OF
LIME CONCRETE UNDER ALL WOOD FLOORS.
MAIN WALLS TO BE OF LOCAL COMMON
BRICKS, SELECTED FOR FACINGS. WALLS TO
HAVE A 2" COURSE UNDER WALL PLATE.
INTERNAL PARTITIONS TO BE 5" CONCRETE
SLAB EXCEPT WHERE OVERSICKE JOINTS. ROOF
TILES AS MAY BE DETERMINED BY THE LOCALITY.
WINDOWS TO BE CASEMENT, OPENING OUT-
WARDS. FLOORS TO BE 1" G. & T. BOARDING.
SKIRTINGS, ARCHITRAVES ETC TO BE
CHAMFERED, NO MOLDING.

DETAIL
OF
ROOF
EAVE
FINISH
PLAN

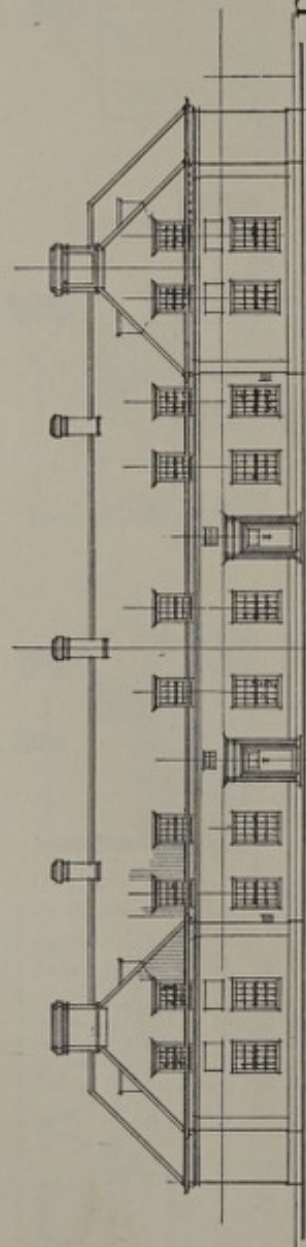


KNOWLES, OLIVER & LEESE
SUN INSURANCE BUILDING,
25 COLINGWOOD STREET,
NEWCASTLE-ON-TYNE

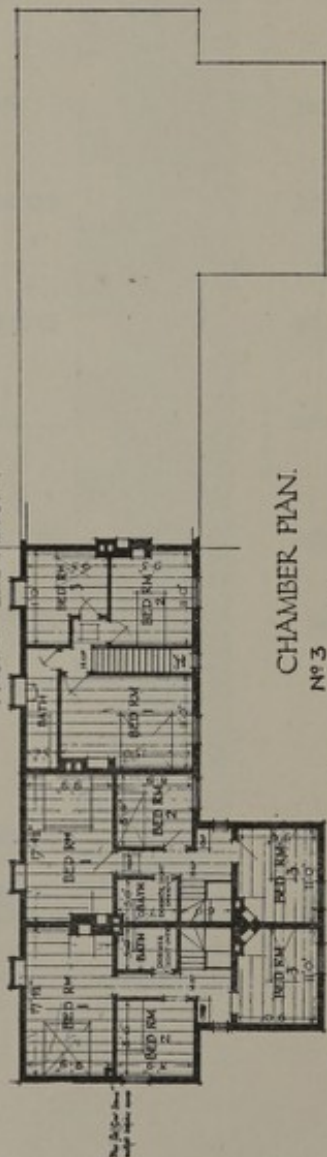
XIX. NORTHERN AREA : CLASS B, SECOND PREMIUM.

R.I.B.A. CLASS. B. COTTAGE COMPETITION MIDLAND AREA

Scale - 3 Feet to 1 Inch

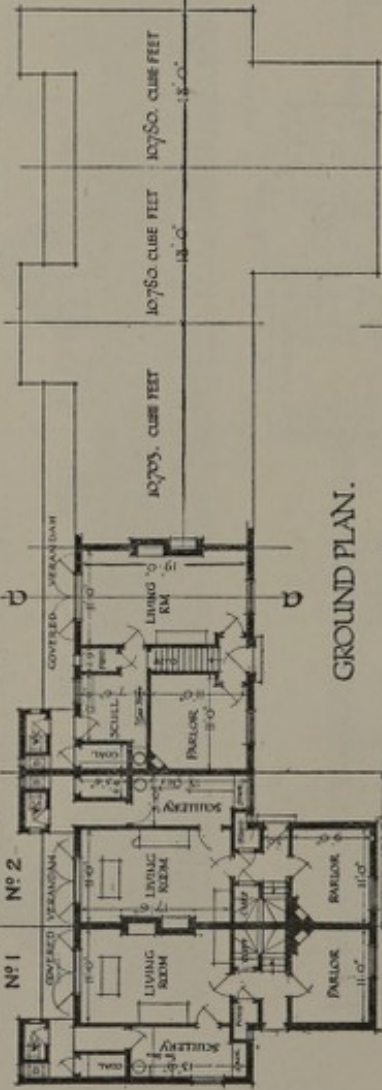


FRONT ELEVATION.

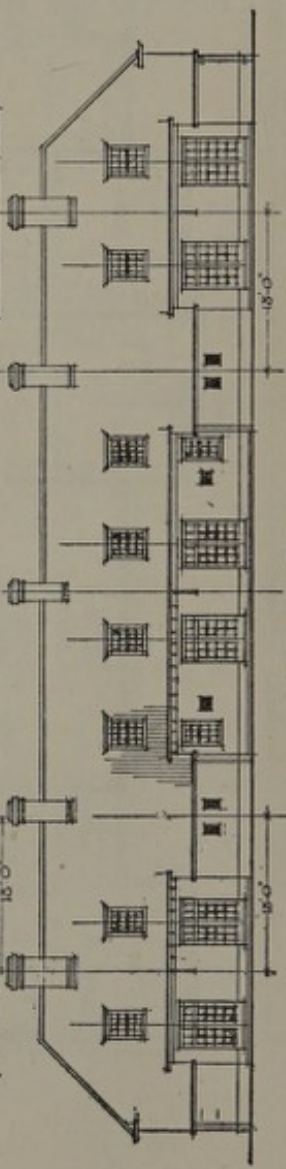


CHAMBER PLAN.

No 3

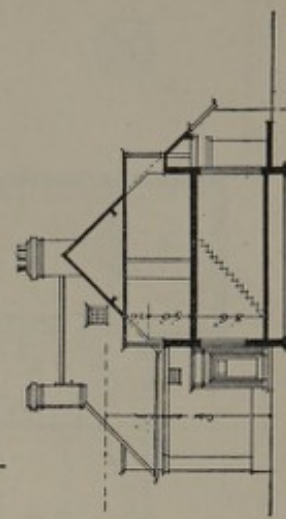


GROUND PLAN.



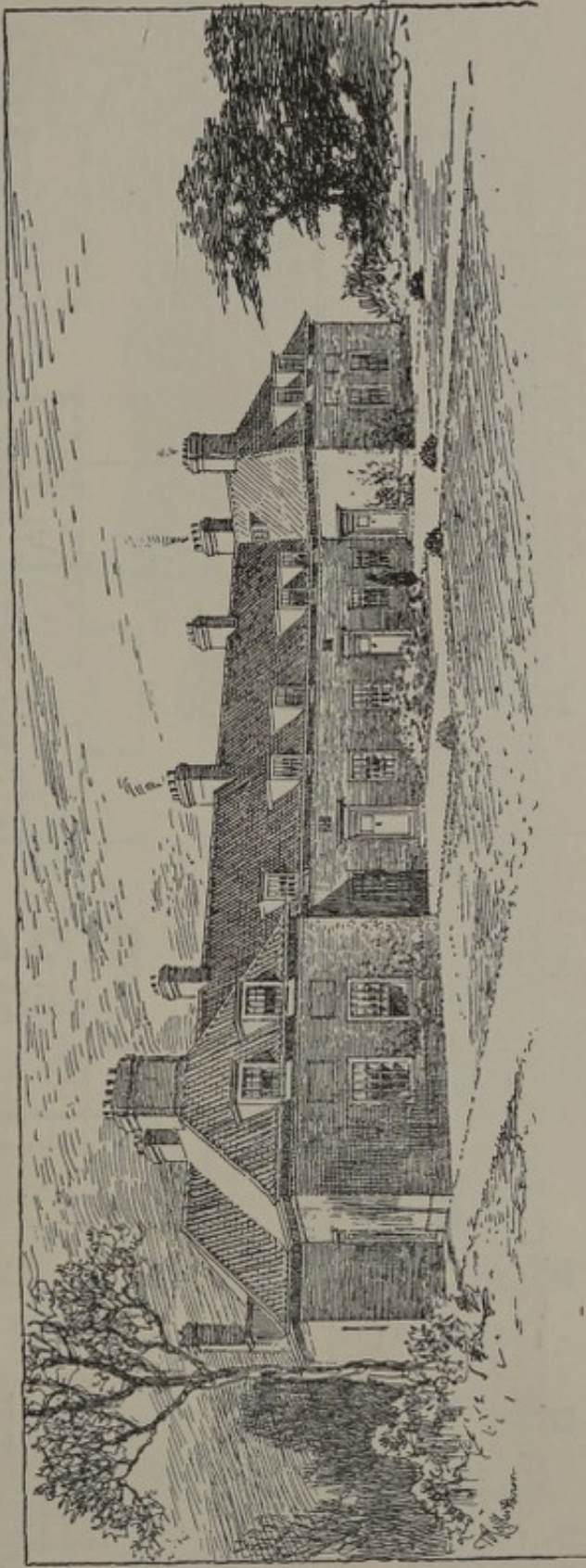
BACK ELEVATION.

NOTES:
Quaint built up in Common Bels
H outside lock-up walls
Ground concrete floors to living & Scullery.
Living RM covered with Cork, Parlor, Kitchen
Scullery covered with Roman tiles or similar slates
Semi finished: chipmunk covering to Dormers
Six Reddish Copper & Bath
Plaster paper partitions on Quimper floor
Acute chinks to Dormers
Wood Architraves to Front Doors



SECTION. A.A.

STOCKDALE HARRISON & SONS
7 ST MARTIN'S EAST,
LEICESTER



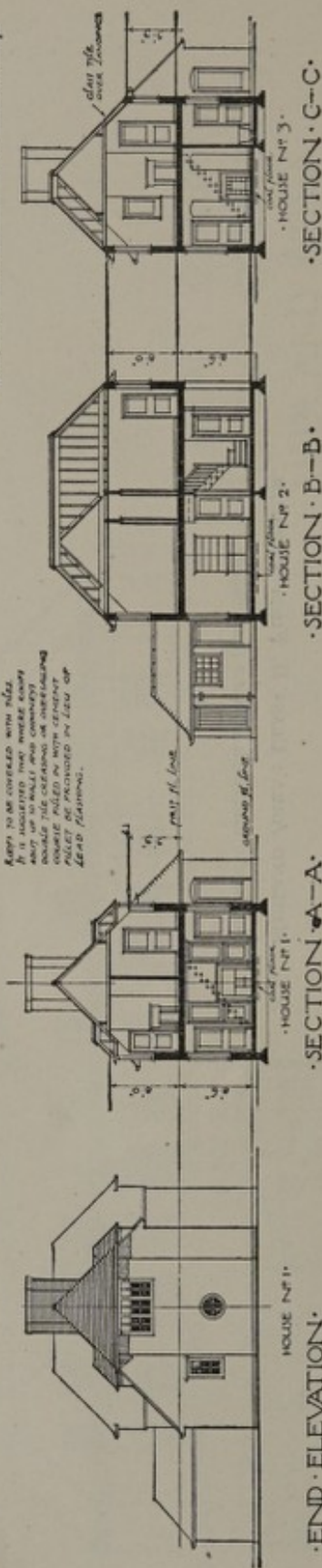
XX. MIDLAND AREA : CLASS B, FIRST PREMIUM.
Stockdale Harrison & Sons (Leicester).

HOUSING of the WORKING: CLASSES. MIDLAND AREA: CLASS B:

CUBIC CONTENTS:

N ^o 1. END HOUSE.	11,369. CUBIC FEET.
N ^o 2. NARROW FRONTED HOUSE.	11,229. CUBIC FEET.
N ^o 3. WIDE FRONTED HOUSE.	11,417. CUBIC FEET.

ROOFS TO BE COVERED WITH SLATES.
IT IS ASSUMED THAT WHERE ROOFS
SHOW UP IN WALLS AND CORNICES
DOUBLE TILE ORNAMENTS OR ORNAMENTS
WOULD BE USED IN WITH CEMENT
WORK. ROOFS TO BE COVERED IN LINE OF
LEADS FINISHING.

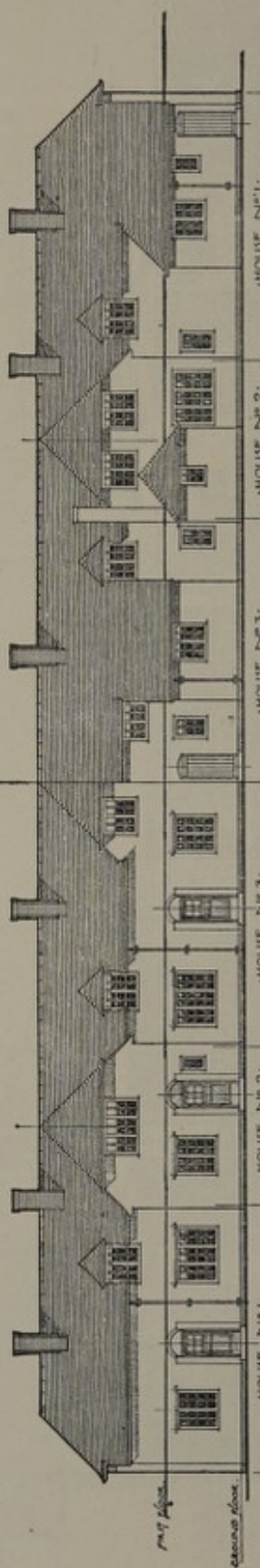


SECTION A-A.

SECTION B-B.

SECTION C-C.

END ELEVATION.



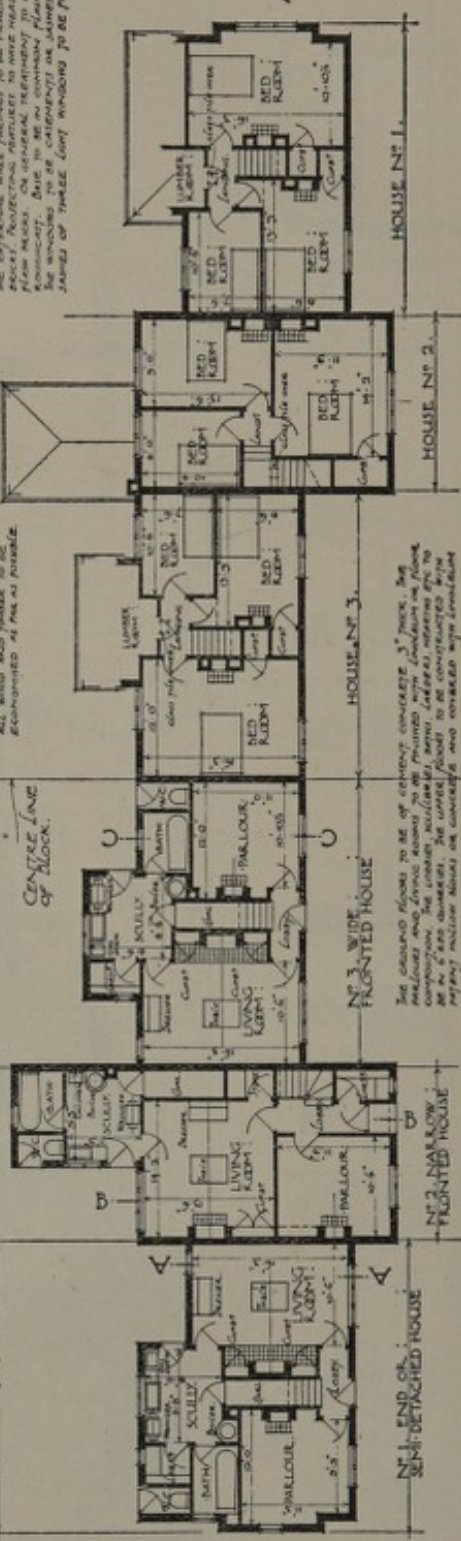
FRONT ELEVATION.

BACK ELEVATION.

THE EXTERNAL WALL FINISHES TO BE PICKED RED BRICKWORK.
ROOFS, PROJECTING PARTS TO HAVE HEADERS IN COMMON
PLATE ROOFS. BUT IN CASE OF HOUSE NO. 3, THE ROOFS
TO BE COVERED WITH SLATES. THE ROOFS TO BE COVERED
WITH SLATES. THE ROOFS TO BE COVERED WITH SLATES.

THE EXTERNAL WALLS AND ROOFS
TO BE COVERED WITH SLATES.
ALL ROOFS AND PARTS TO BE
ECONOMIZED AS FAR AS POSSIBLE.

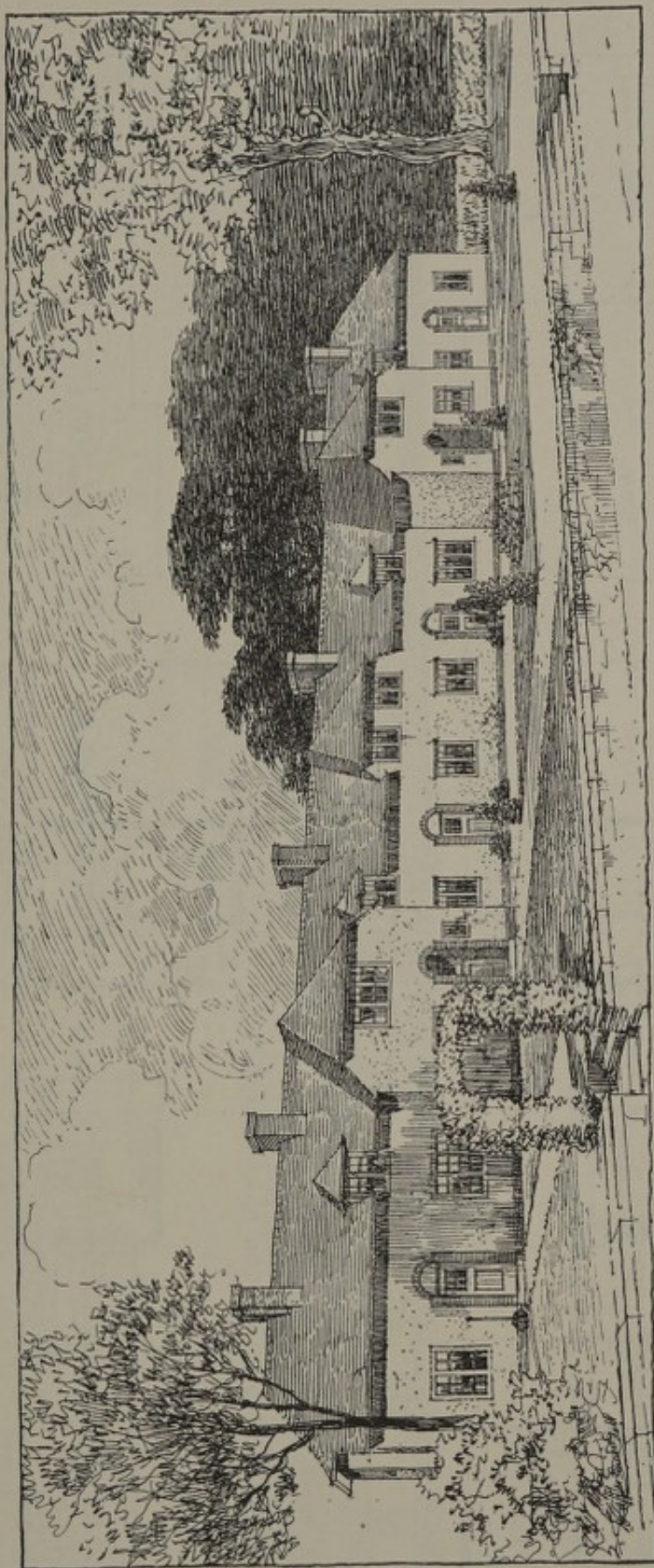
WHEN RATES OF HOUSES PAINTED FOR 3 HOUSES ARE
ADAPTED, THEY WOULD BE FOR 3 HOUSES, WITH
WHICH WOULD BE COVERED UNDER ROOFS OR CHIMNEYS.



GROUND PLANS.

FIRST FLOOR PLANS.

SCALE OF FEET.



XXI. MIDLAND AREA : CLASS B, SECOND PREMIUM.

F. W. C. Gregory (Nottingham).

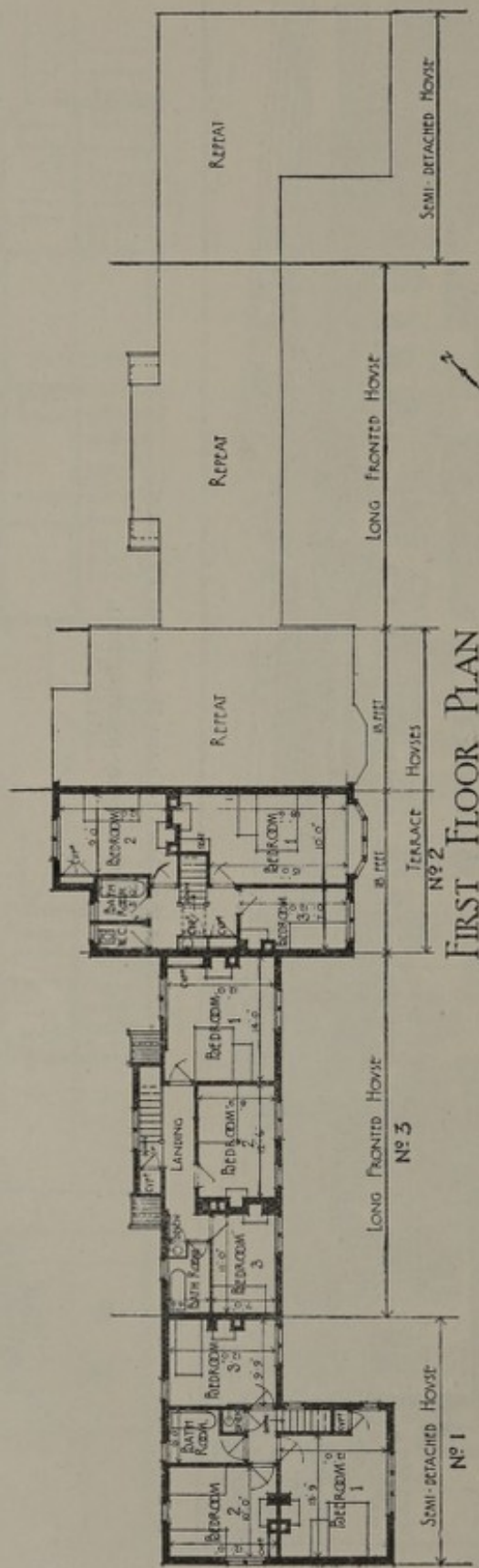
1

SOUTH-WEST AREA

B

MATERIALS

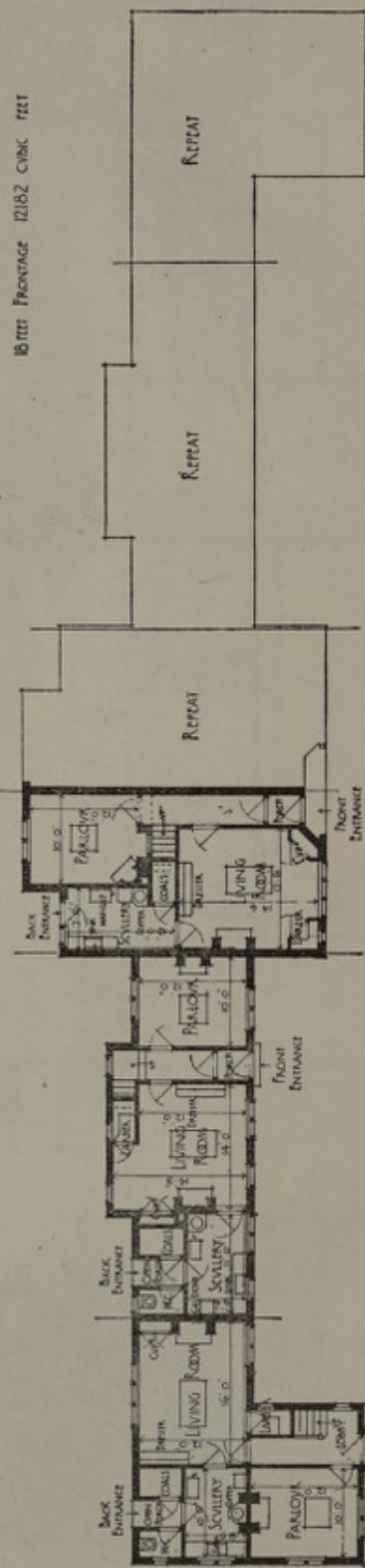
GROUND FLOOR. EXTERNAL WALLS OF HOLLOW CONCRETE BLOCKS ON BRICK PLINTH IN LOCALITIES WHERE CHEAPER THAN BRICK. IF BRICK IS ADOPTED THE WALLS TO HAVE A TWO INCH CAVITY. PARTY WALLS ETC. IN BRICKWORK. PARTITIONS OF 2½ CONCRETE SLABS. FIRST FLOOR. EXTERNAL WALLS OF WOOD FRAMING AND VERTICAL SLATING. ALL ROOFS COVERED WITH SMALL SLATES. LOWER FLOORS OF CONCRETE WITH PORTLAND CEMENT RENDERING. UPPER FLOORS OF WOOD JOISTS AND ROUGHING. WINDOWS WOOD CASIMENTS OPENING OUTWARDS.



CYBIC CONTENTS OF COTTAGES

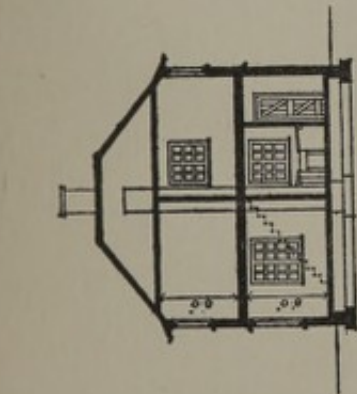
SEMI-DETACHED	11910	CUBIC FEET
LONG FRONTAGE	11297	CUBIC FEET
18 FEET FRONTAGE	12182	CUBIC FEET

10 20 30 40 50 60 70 80 90 100

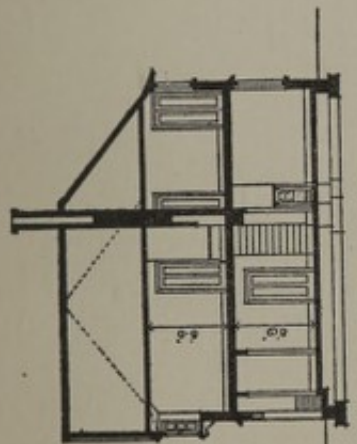


N. L. THORNTON & SONS
3 SURREY TERRACE
PRINCESS SQUARE,
PLYMOUTH

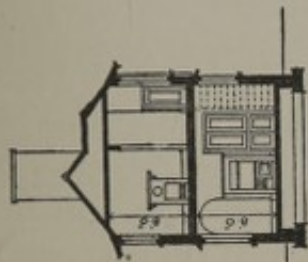
GROUND FLOOR PLAN



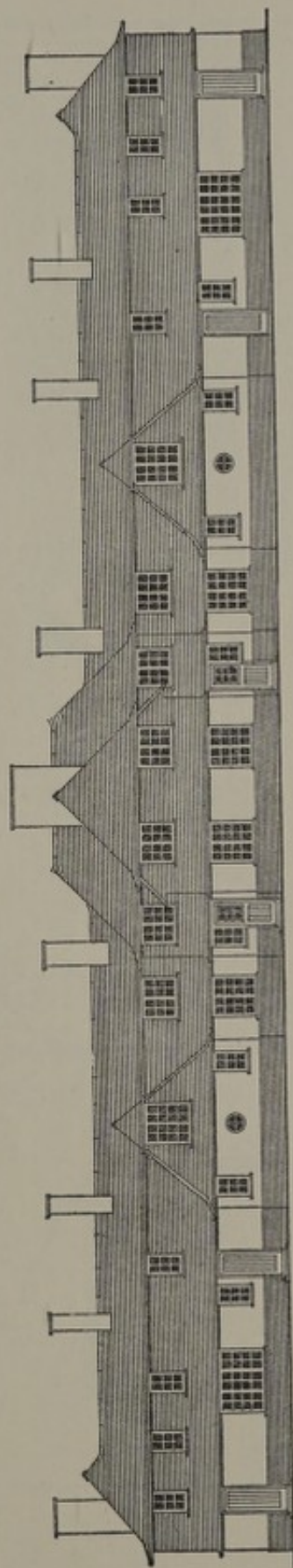
SECTION A.A.



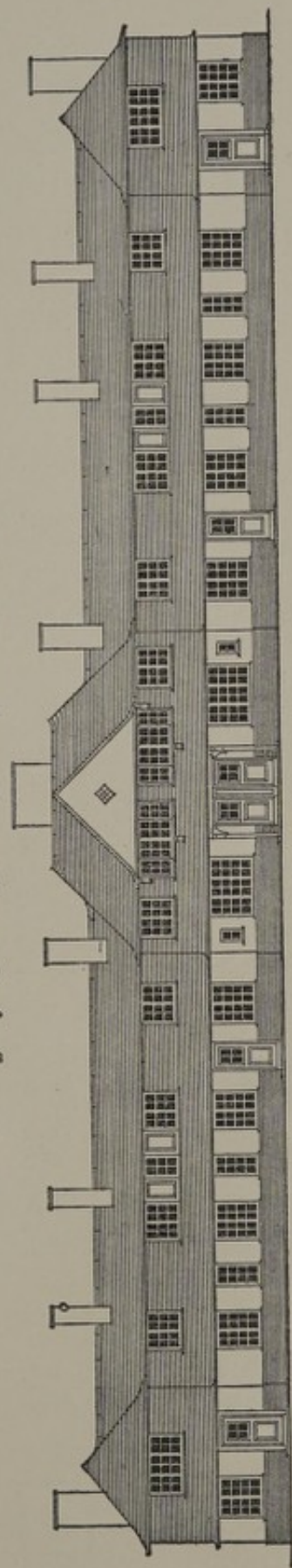
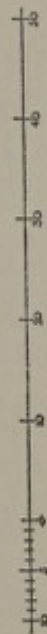
SECTION B.B.



SECTION C.C.



BACK ELEVATION



FRONT ELEVATION

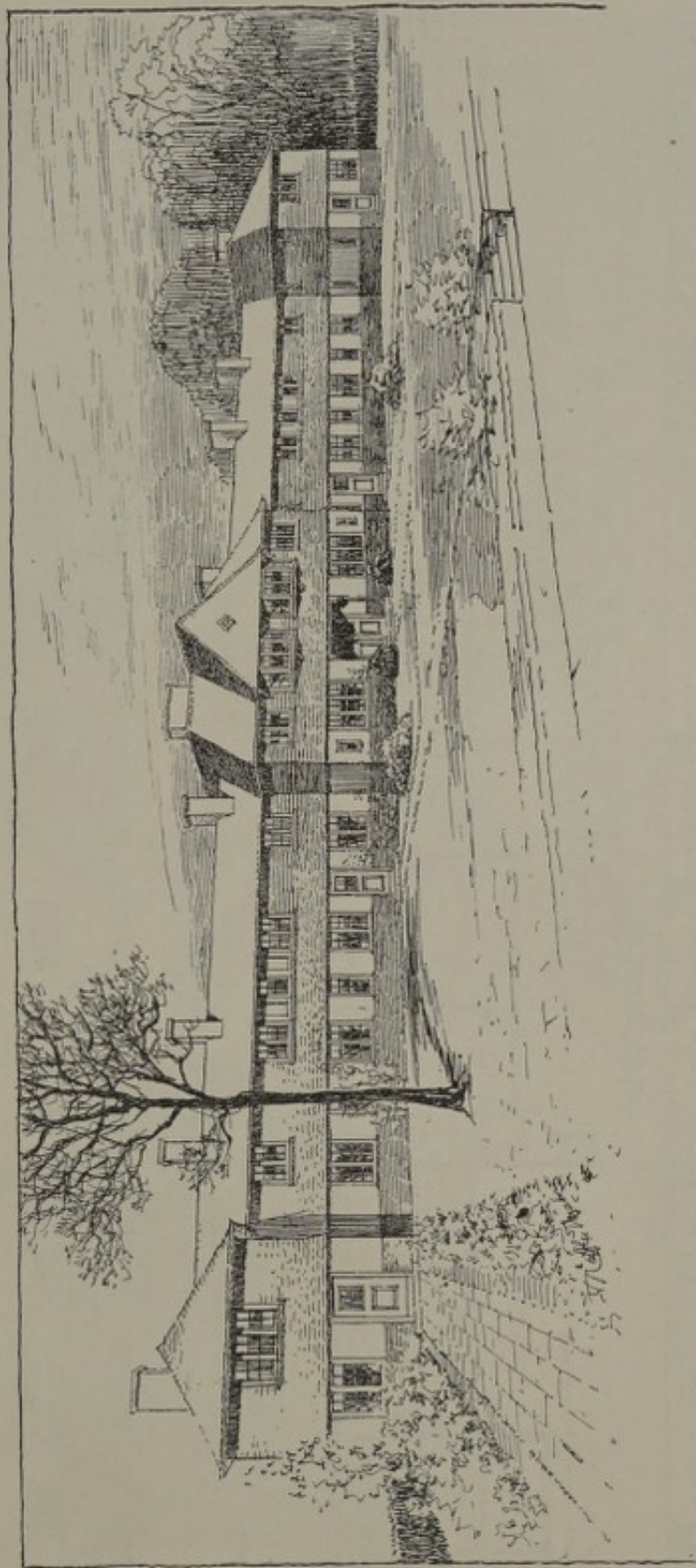
No 2

No 3

No 1

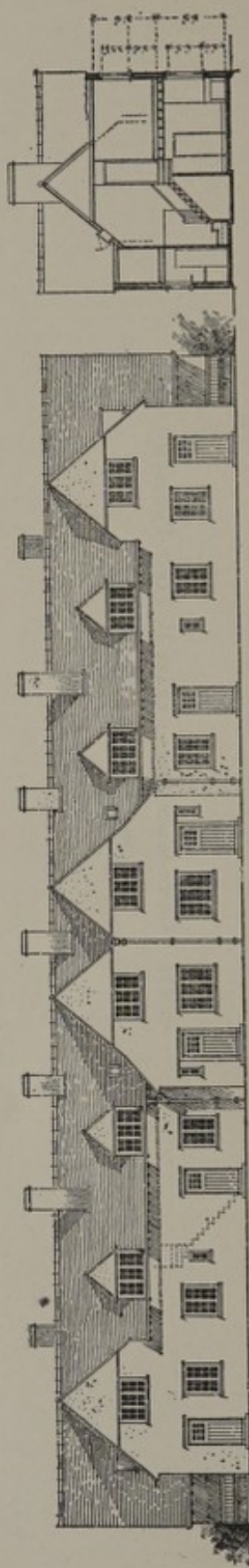
H.L. THORNTON & SONS,
3 BUCKINGHAM TERRACE,
PRINCESS SQUARE
PLYMOUTH

XXII. (b). SOUTH-WEST AREA : CLASS B, FIRST PREMIUM.



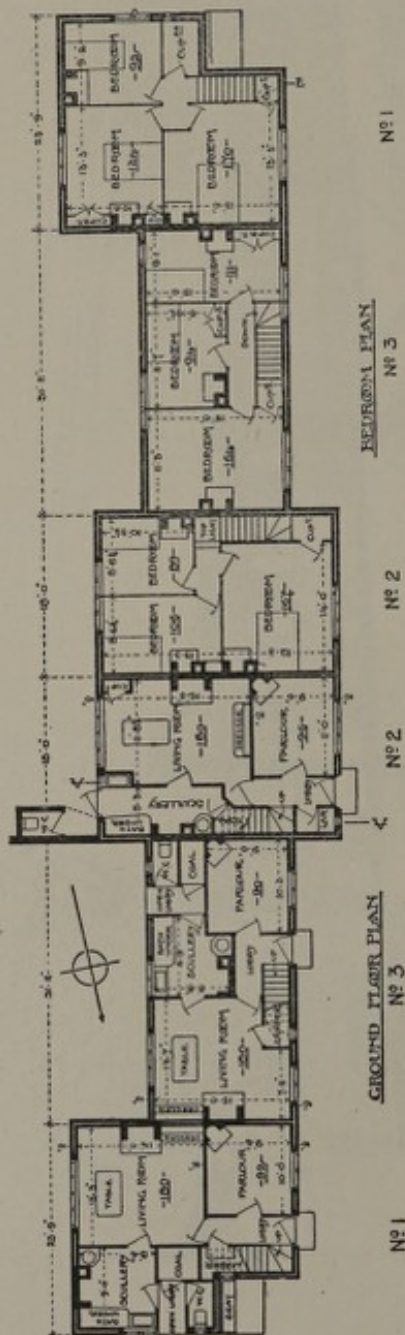
XXII. SOUTH-WEST AREA : CLASS B, FIRST PREMIUM.
Thornely & Rooke (Plymouth).

COTTAGE COMPETITION S.W. AREA CLASS B



FRONT ELEVATION

SECTION A



COOKS' CONTENTS

END HOUSE 10' 12 1/2

TERACE HOUSE 20' 0 0

WIDE FRONTAGE HOUSE 10' 0 0

NOTE: COOKS' AREA OF WIDE FRONTAGE HOUSE 10' 0 0

MATERIALS

CONCRETE, IN SITU CONCRETE, (CARRYING SYSTEM) -
NO REINFORCING REQUIRED (CARRYING SYSTEM) -
AND REINFORCING REQUIRED (CARRYING SYSTEM) -
10" TOTAL THICKNESS.

PARTY WALLS CONFORM TO ABOVE, 8" TOTAL THICKNESS -
DO NOT GO TO BE FINISHED THICKNESS -
BEDROOM PARTITION, 10" TOTAL THICKNESS -
FLATFLOOR ON EACH SIDE, 12" THICK.

FLATFLOOR ON EACH SIDE, 12" THICK.

FLATFLOOR ON EACH SIDE, 12" THICK.

FLATFLOOR ON EACH SIDE, 12" THICK.

FLATFLOOR ON EACH SIDE, 12" THICK.

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FLATFLOOR ON EACH SIDE, 12" THICK.

FLATFLOOR ON EACH SIDE, 12" THICK.

FLATFLOOR ON EACH SIDE, 12" THICK.

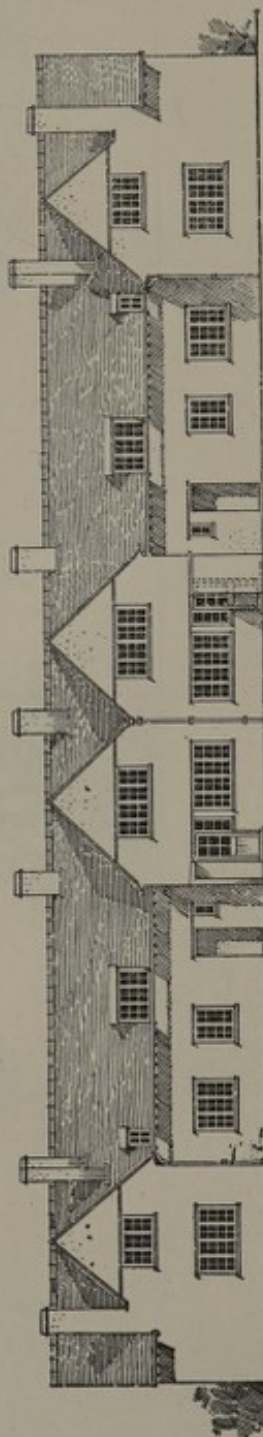
FLATFLOOR ON EACH SIDE, 12" THICK.

FLATFLOOR ON EACH SIDE, 12" THICK.

FLATFLOOR ON EACH SIDE, 12" THICK.

FLATFLOOR ON EACH SIDE, 12" THICK.

FLATFLOOR ON EACH SIDE, 12" THICK.



BACK ELEVATION

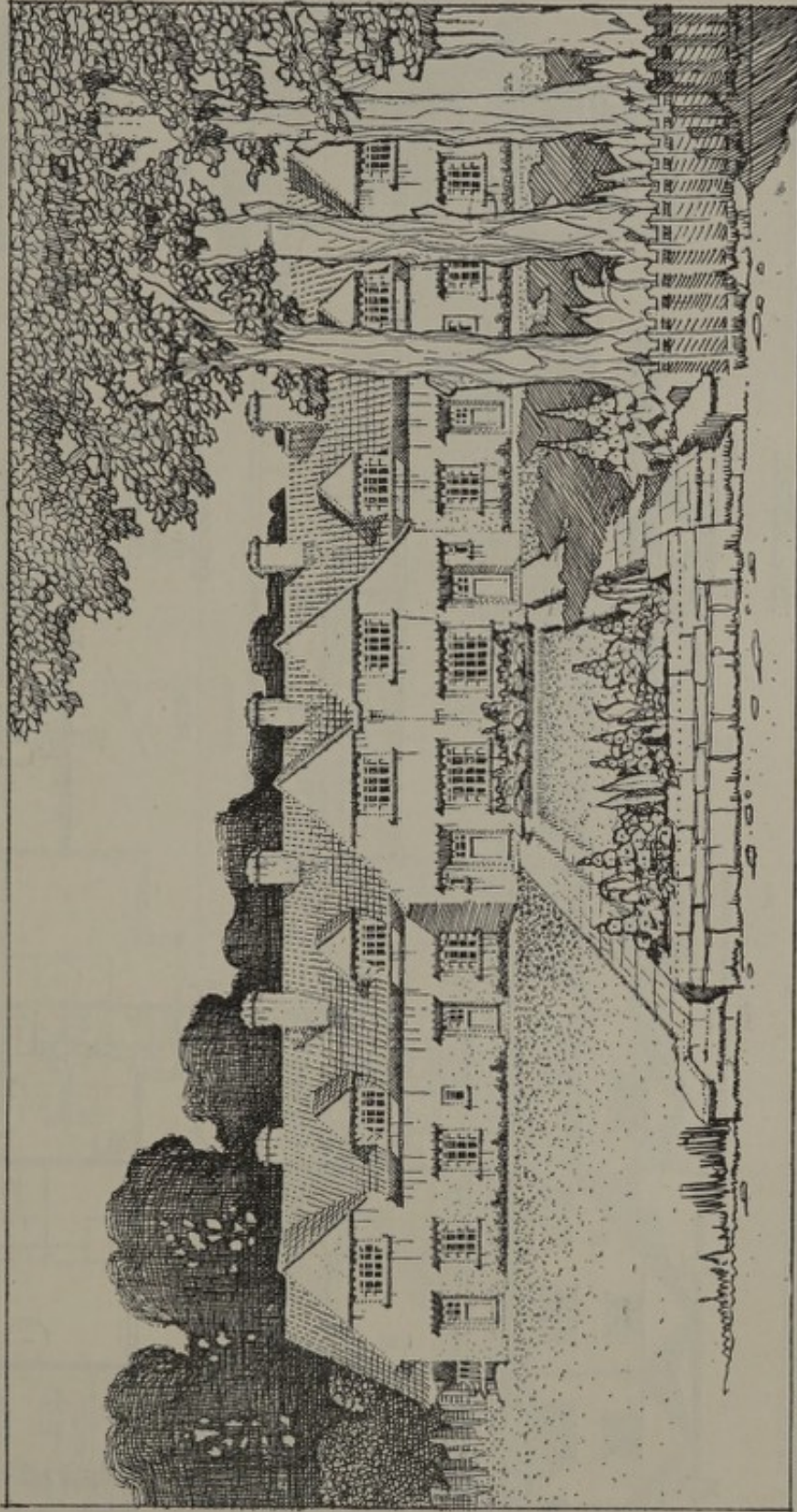
SECTION B

SCALE: 6 FEET TO ONE INCH

R. HEATHMAN,
10 STATION ROAD,
ASHLEY DOWN,
BRISTOL

SECOND PREMIUM £50

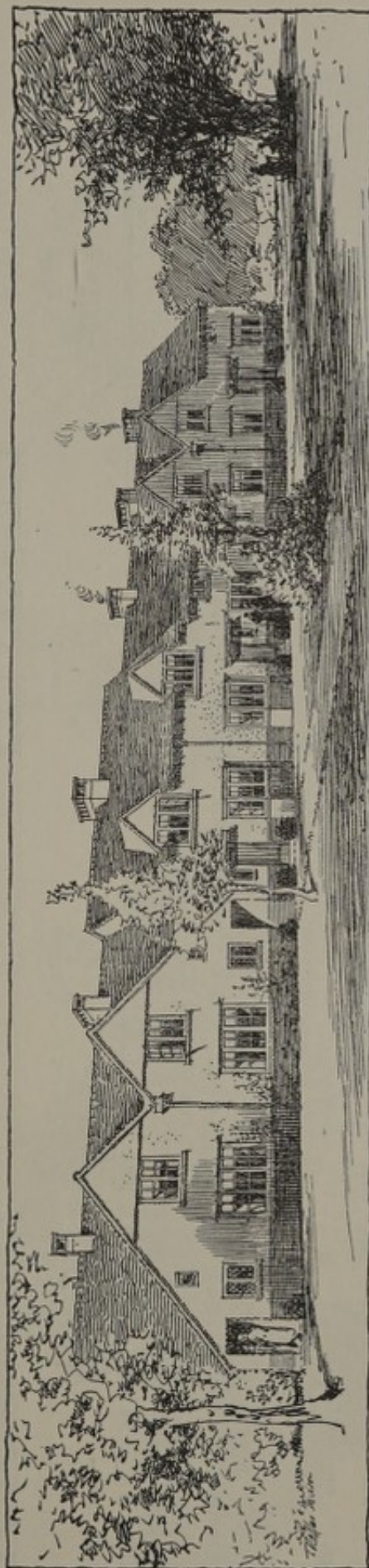
XXIII. SOUTH-WEST AREA : CLASS B, SECOND PREMIUM.



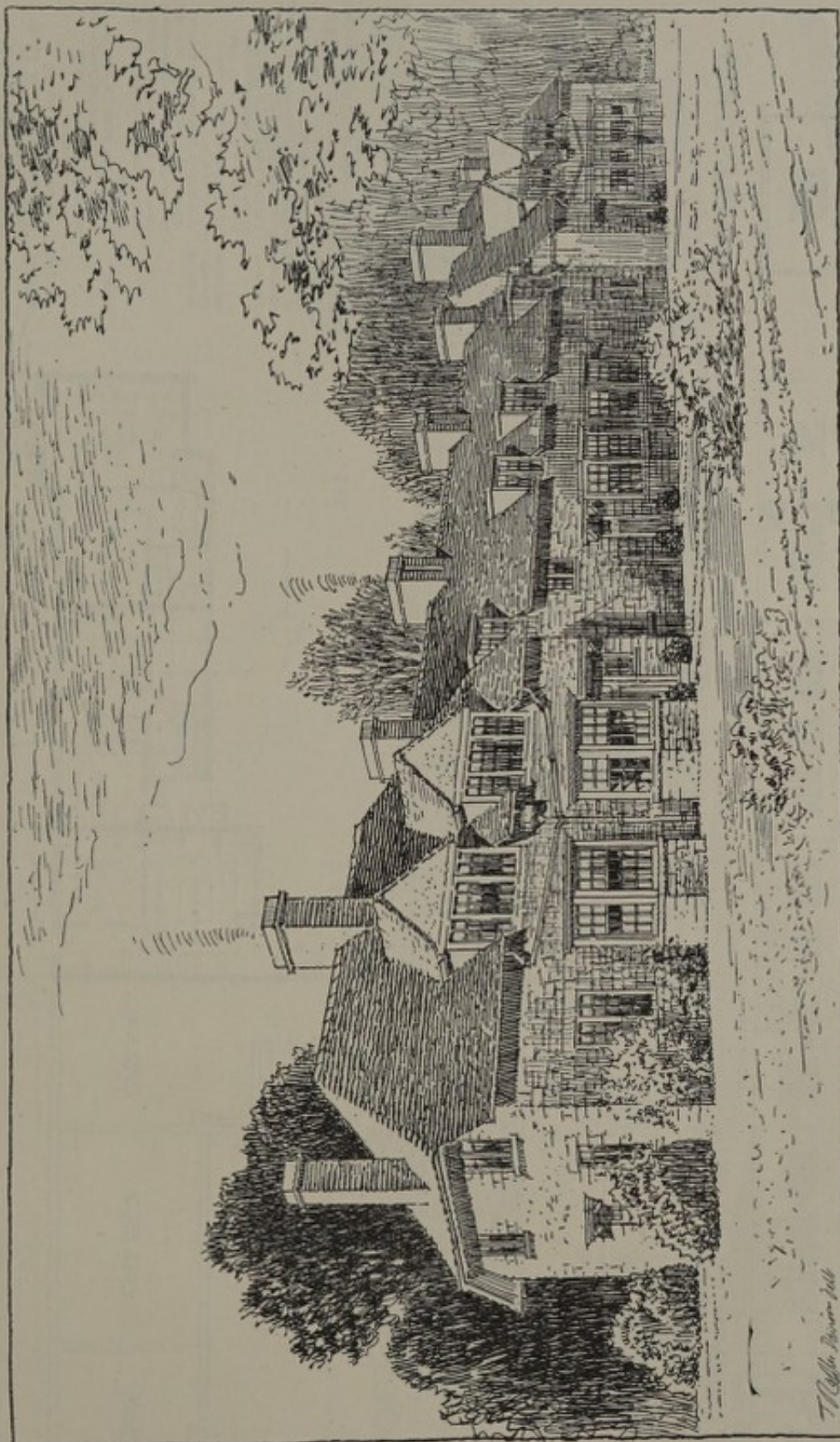
XXIII. SOUTH-WEST AREA : CLASS B, SECOND PREMIUM.

H. Heathman (Bristol).

Cyrl A. Farney, del.



XXIV. SOUTH WALES AREA : CLASS B, FIRST PREMIUM.
Johnson & Richards (Merthyr Tydfil).

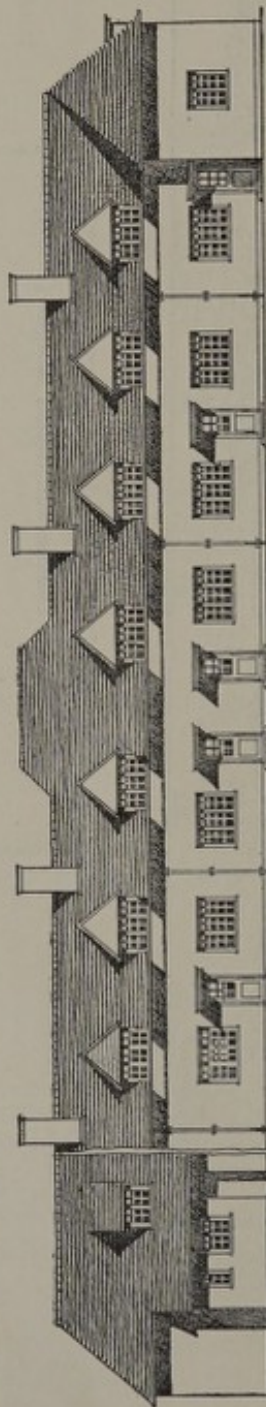
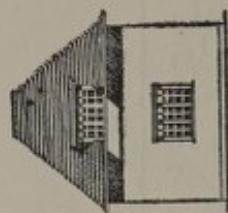


XXV. SOUTH WALES AREA : CLASS B, SECOND PREMIUM.
A. Ll. Thomas and Gomer Morgan (Pontypridd).

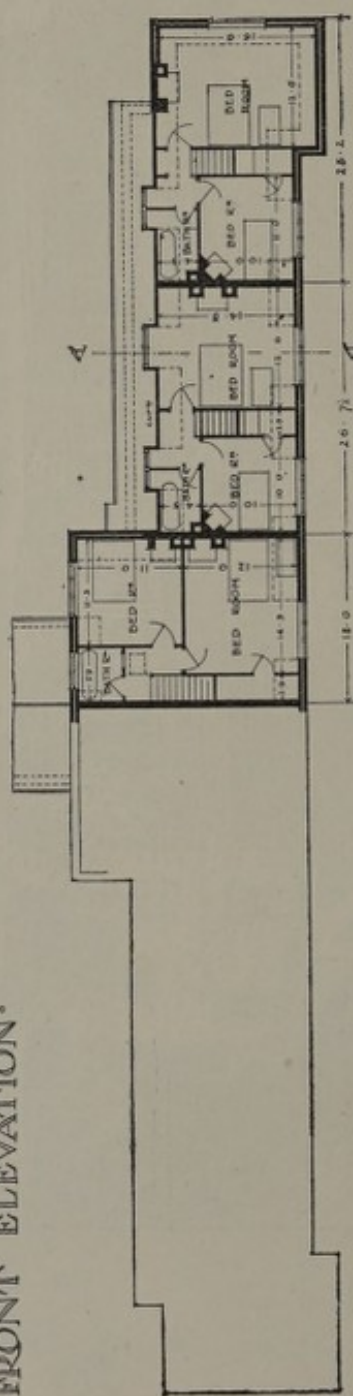
COTTAGE COMPETITION

HOME COUNTIES AREA

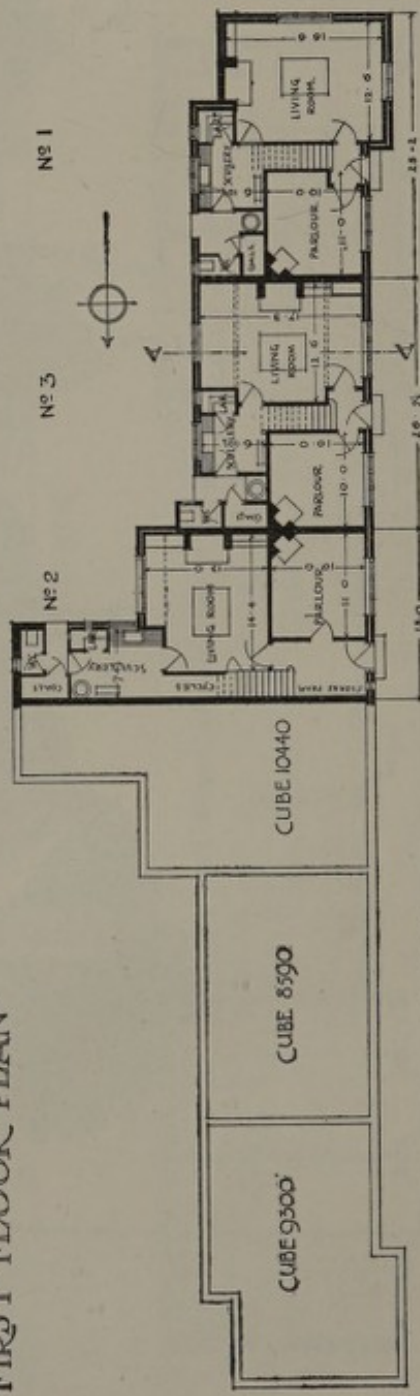
CLASS C.

PART BACK ELEVATION.
FRONT ELEVATION.

END ELEVATION.



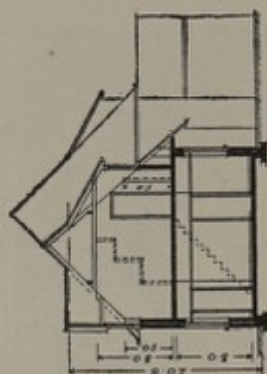
FIRST FLOOR PLAN.



GROUND FLOOR PLAN.

SCALE 3/8 INCH = 1 FOOT.

SECTION A-A.



AS THE FIRST FLOOR AREA IS LESS THAN THE GROUND FLOOR, THE UPPER ROOMS ARE PLACED PARTLY IN THE ROOF IN THIS CLASS WITH DOORMEN. THE FLOORS MENTIONED BELOW ARE ASSUMING THAT TIMBER CANNOT BE OBTAINED FOR FLOORS FOUNDATIONS CONCRETE 6" DEEP.

WALLS 11" BRICK HOLLOW OR CONCRETE. SLABS IF BRICKS UNOBTAINABLE, OUTER, Y & INNER, 4" SLAB TIED.

ROOF CONTINUOUS REINFORCED HOLLOW BEAMS SUCH AS JELLY OR KLENE TO HAVE CENTERING OR REINFORCED CONCRETE & STANDARD CENTERING FLOORS COVERED WITH HAIR FELT & LINOLUM.

HOME GROWN TIMBER, 2" TILES OR SLATES, TILES PLAIN OR CORRUGATED RAFTERS & BATTENS WITH TILT UNDER, DATTENS.

ROOF

HOME GROWN TIMBER, 2" TILES OR SLATES, TILES PLAIN OR CORRUGATED RAFTERS & BATTENS WITH TILT UNDER, DATTENS.

ROOF

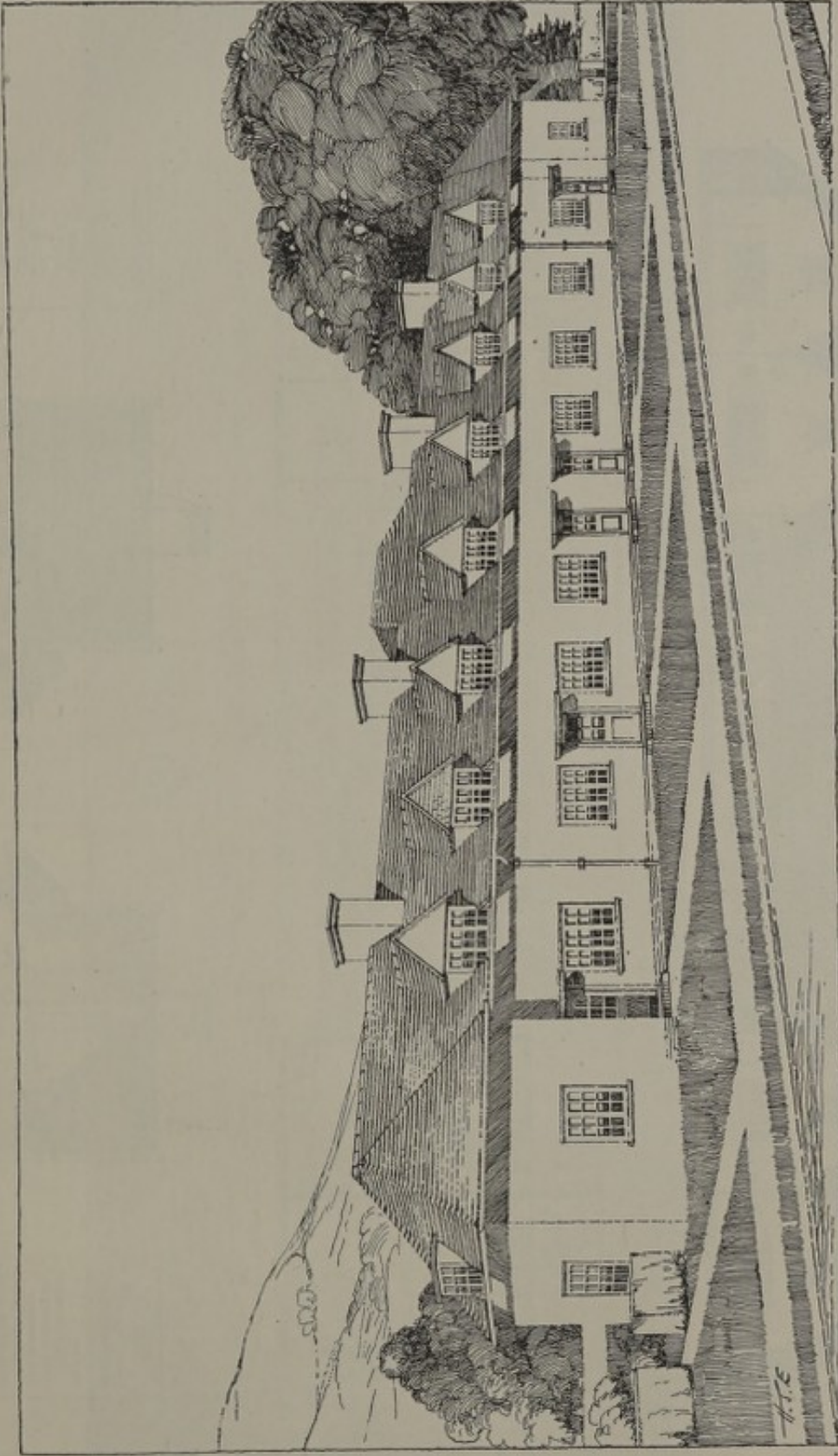
HOME GROWN TIMBER, 2" TILES OR SLATES, TILES PLAIN OR CORRUGATED RAFTERS & BATTENS WITH TILT UNDER, DATTENS.

HOME GROWN TIMBER, 2" TILES OR SLATES, TILES PLAIN OR CORRUGATED RAFTERS & BATTENS WITH TILT UNDER, DATTENS.

HOME GROWN TIMBER, 2" TILES OR SLATES, TILES PLAIN OR CORRUGATED RAFTERS & BATTENS WITH TILT UNDER, DATTENS.

HOME GROWN TIMBER, 2" TILES OR SLATES, TILES PLAIN OR CORRUGATED RAFTERS & BATTENS WITH TILT UNDER, DATTENS.

HOME GROWN TIMBER, 2" TILES OR SLATES, TILES PLAIN OR CORRUGATED RAFTERS & BATTENS WITH TILT UNDER, DATTENS.

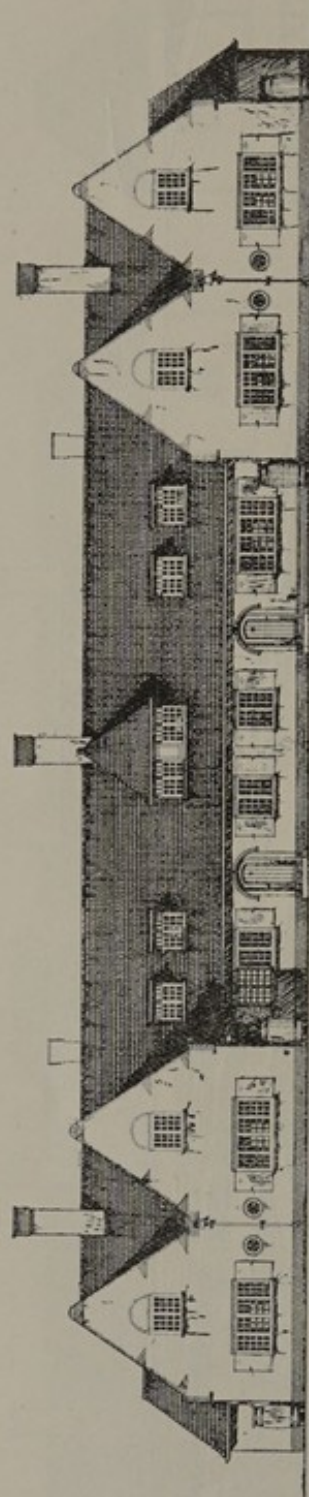


XXVI. HOME COUNTIES AREA : CLASS C, FIRST PREMIUM.

Courtenay M. Crickmer.

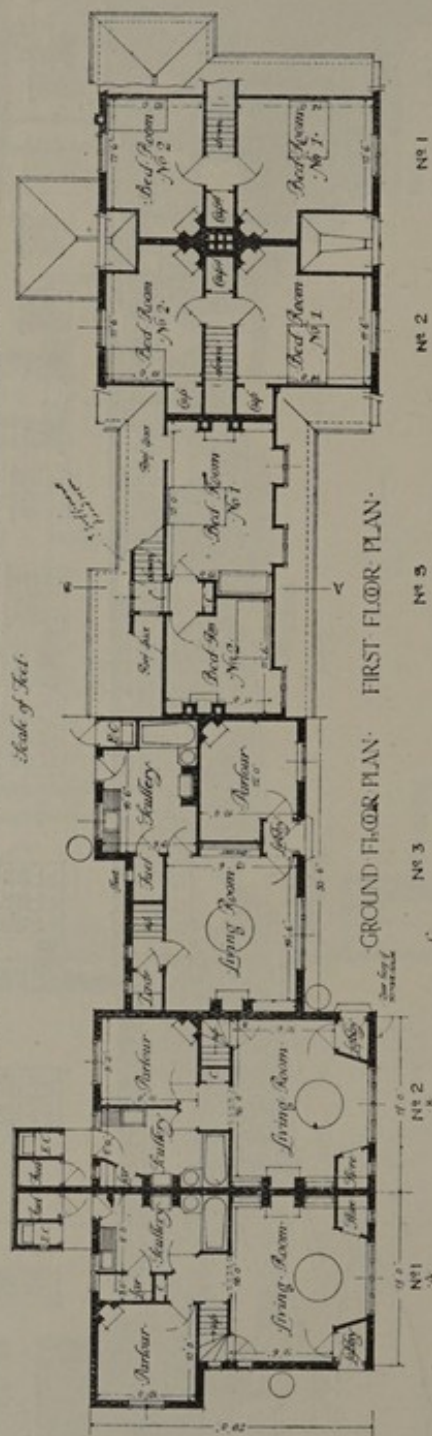
COTTAGE COMPETITION

CLASS C

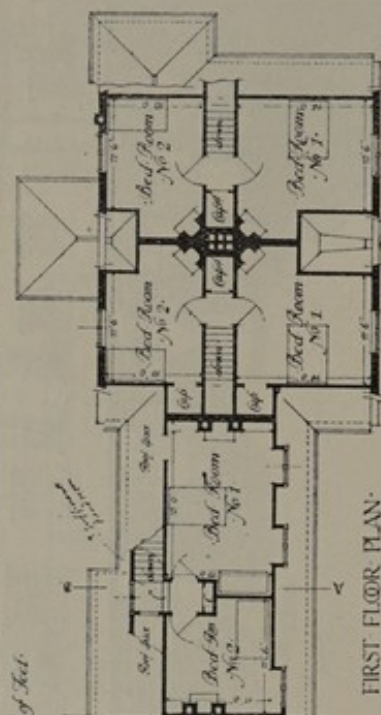


FRONT ELEVATION

Scale of Feet



GROUND FLOOR PLAN



FIRST FLOOR PLAN

No 1

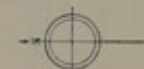
No 2

No 3

No 3

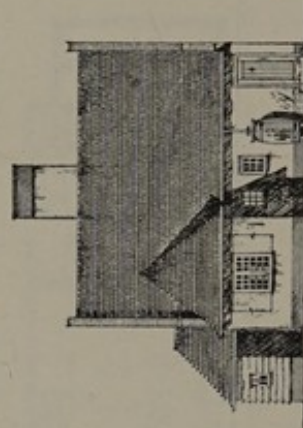
No 2

No 1

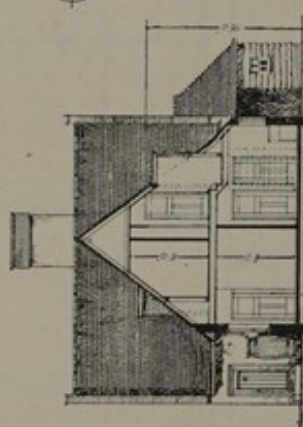


Materials
Brick or concrete
and roughcast walls
Flint or pebble
rendering
Wood frames or
brick masonry and
iron casements
Timber framed
Outbuildings weather
boarded

Builder's Estimates
House A.
6,800.00
House B.
8,350.00
House C.
2,400.00
Outbuildings
1,400.00

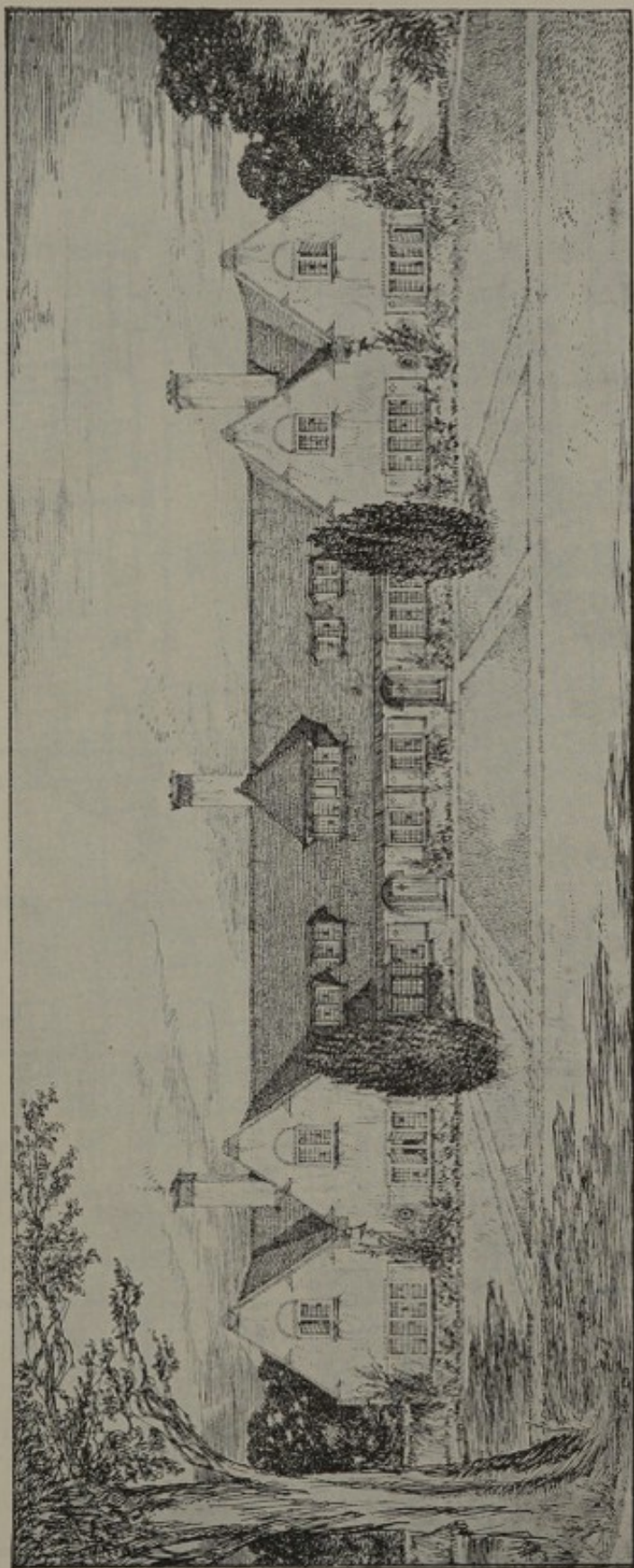


SIDE ELEVATION



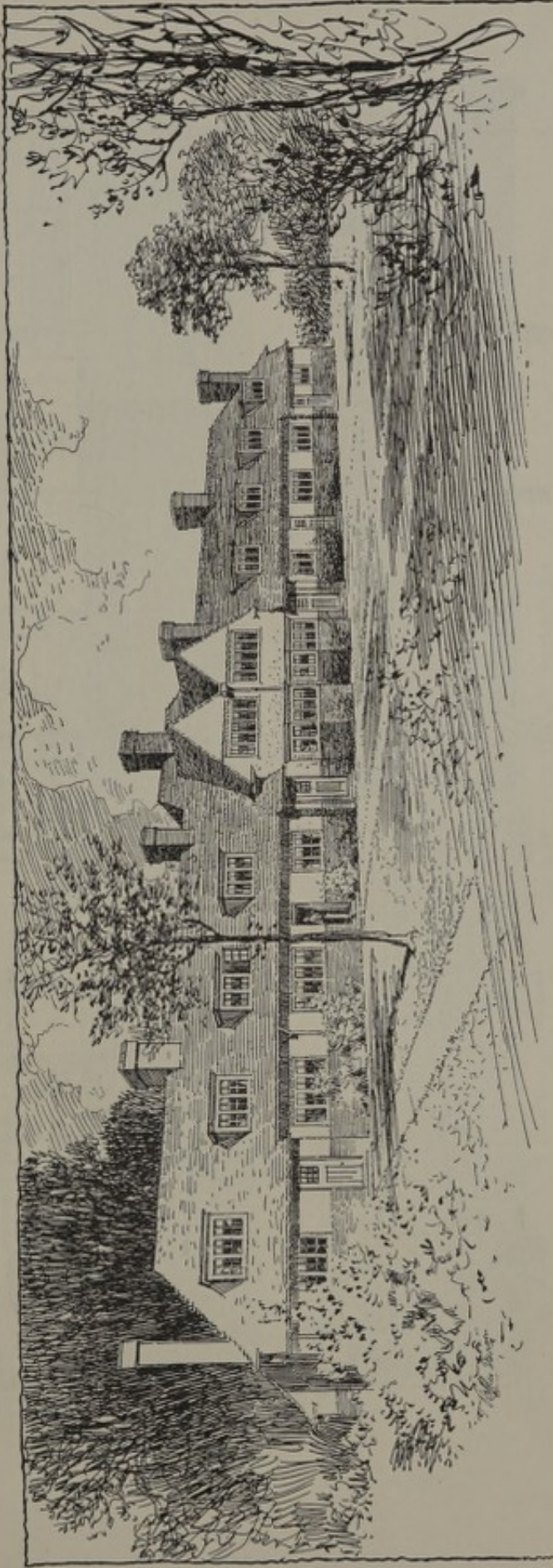
SECTION A-B

C. Winter Smith FRIBA
Architect
Grosvenor Square W.C. and
140 High St. Oxford



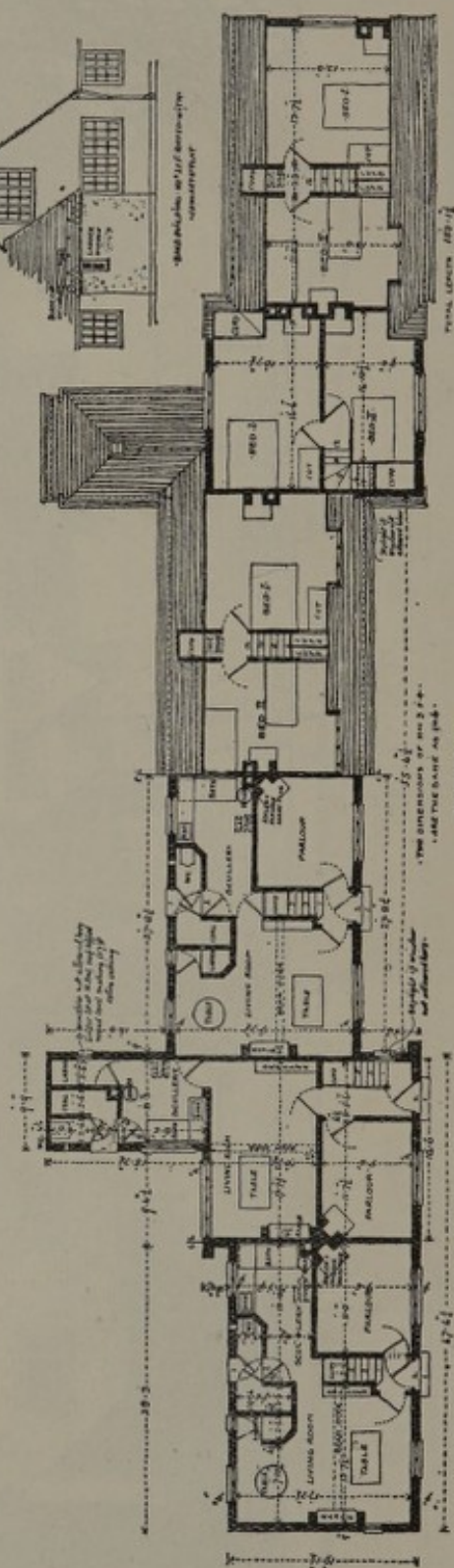
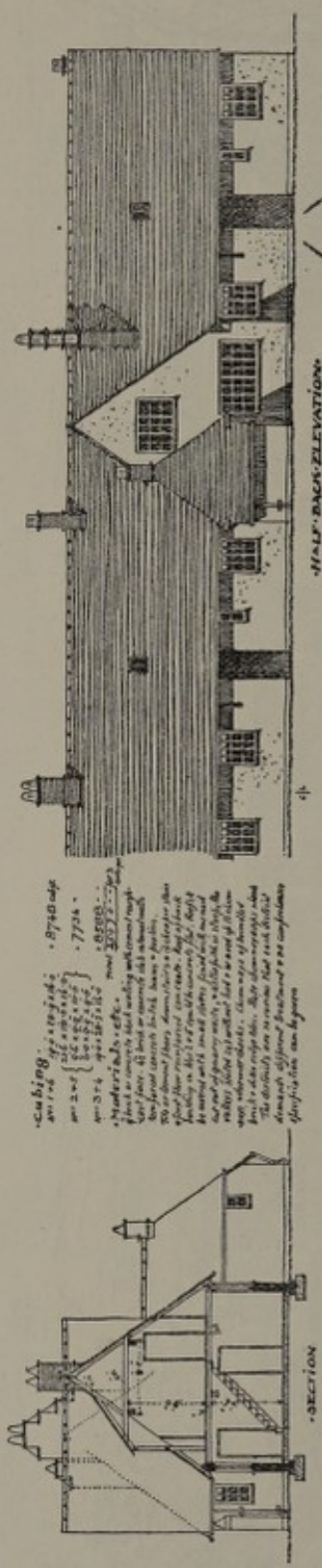
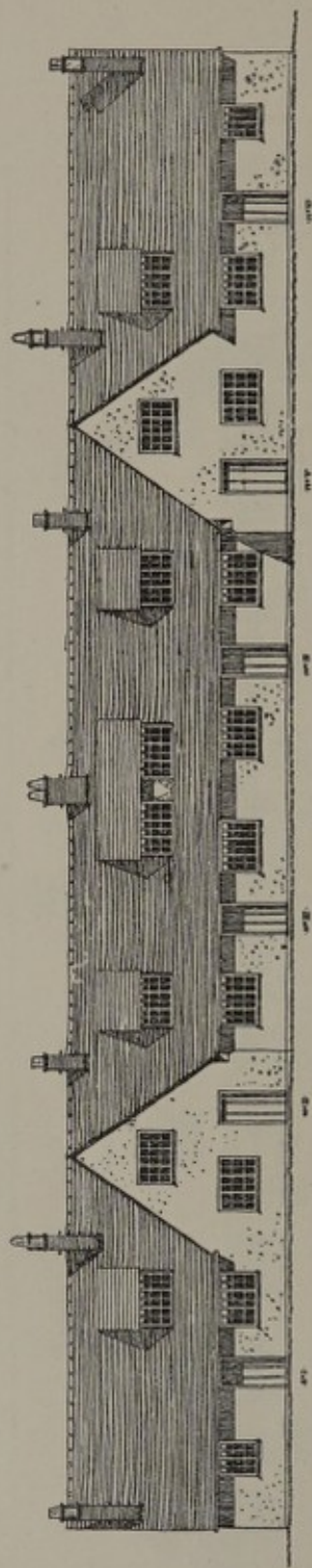
XXVII. HOME COUNTIES AREA : CLASS C, SECOND PREMIUM.

C. Wontner Smith.



XXVIII. MANCHESTER AND LIVERPOOL AREA : CLASS C, FIRST PREMIUM.

Halliday, Paterson & Agate (Manchester).

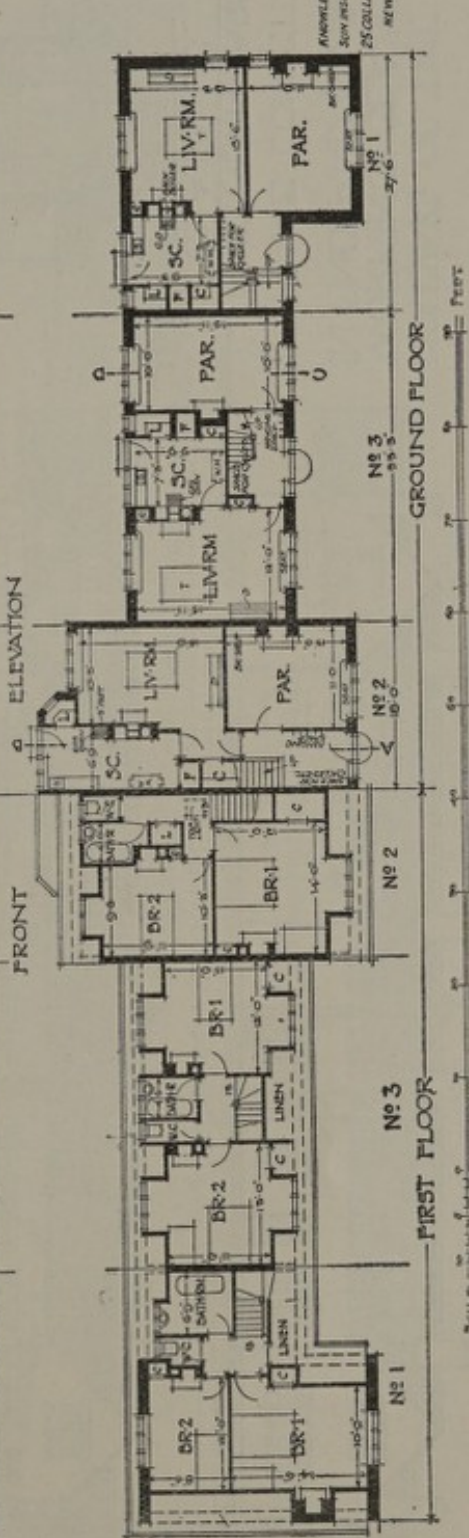
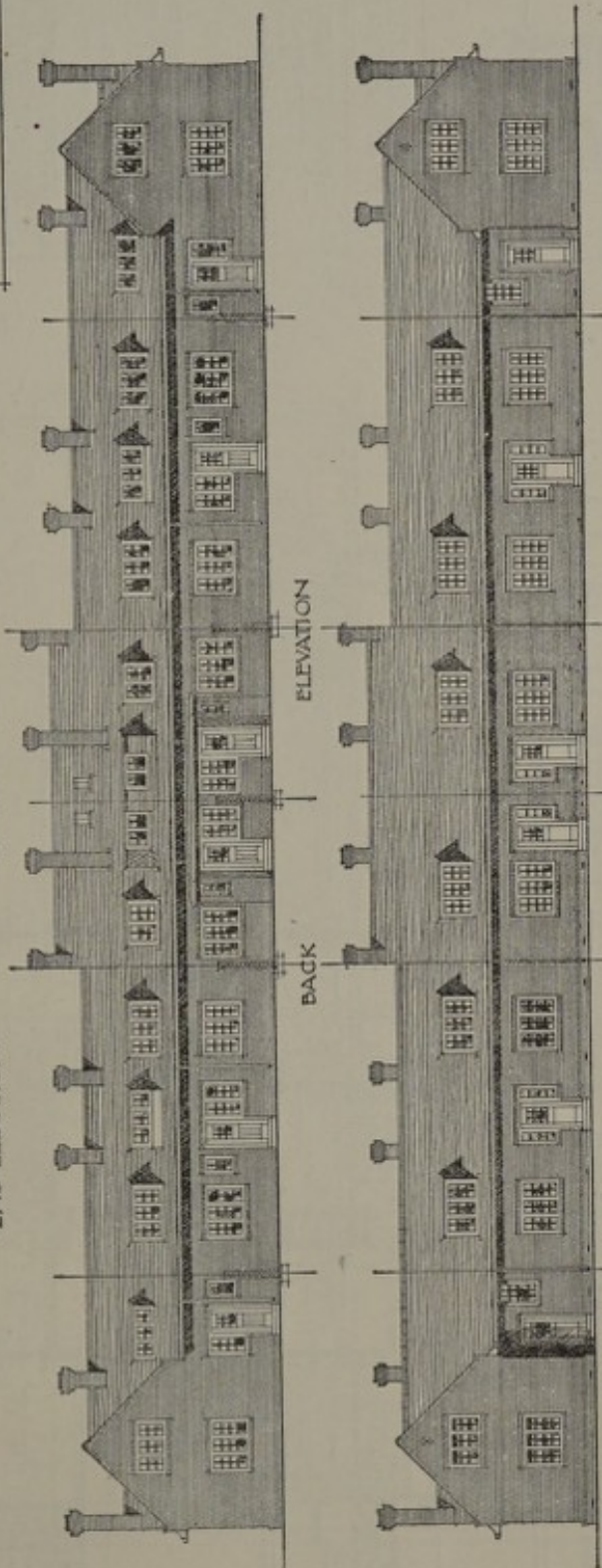
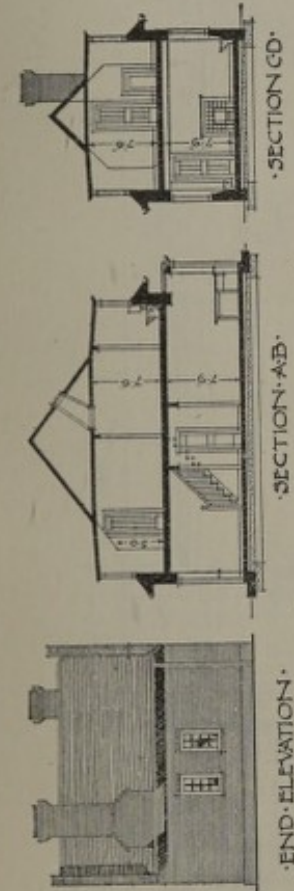


No 1
H. L. NORTH,
ROSEBRIERS,
LLANFAIRFECHAN.

CLASS C

CUBIC CONTENTS.

	1st Floor	2nd Floor	3rd Floor
Domestic	10,555	10,232	10,234
	270	590	185



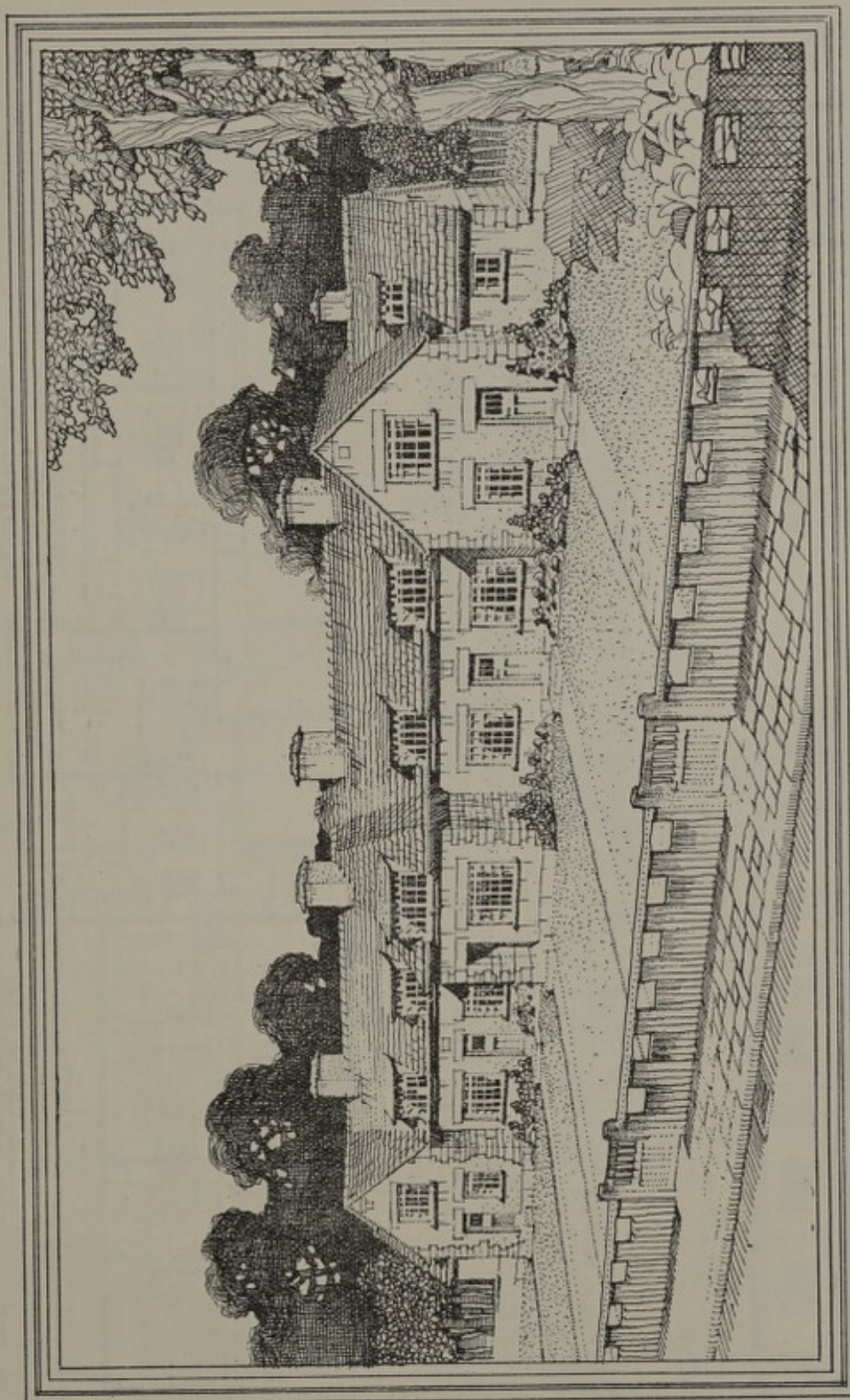
NOTES on MATERIALS ETC.

FOUNDATIONS TO BE CONCRETE. 4" or 6" LIME CONCRETE UNDER ALL WOOD FLOORS. MAIN WALLS TYPE OF LOCAL COMMON BRICK, SELECTED PORTLAND CEMENT. RAFTERS TO BE 2" x 6" OR 2" x 8" LIME CONCRETE. INTERIORS TO BE PLASTERED OR LIME CONCRETE. ROOFING TO BE 1" x 6" T & G BOARDING. SPOUTING AND DRAINAGE TO BE GALVANIZED IRON. SPOUTING AND DRAINAGE TO BE GALVANIZED IRON.

DETAIL of the RANGE



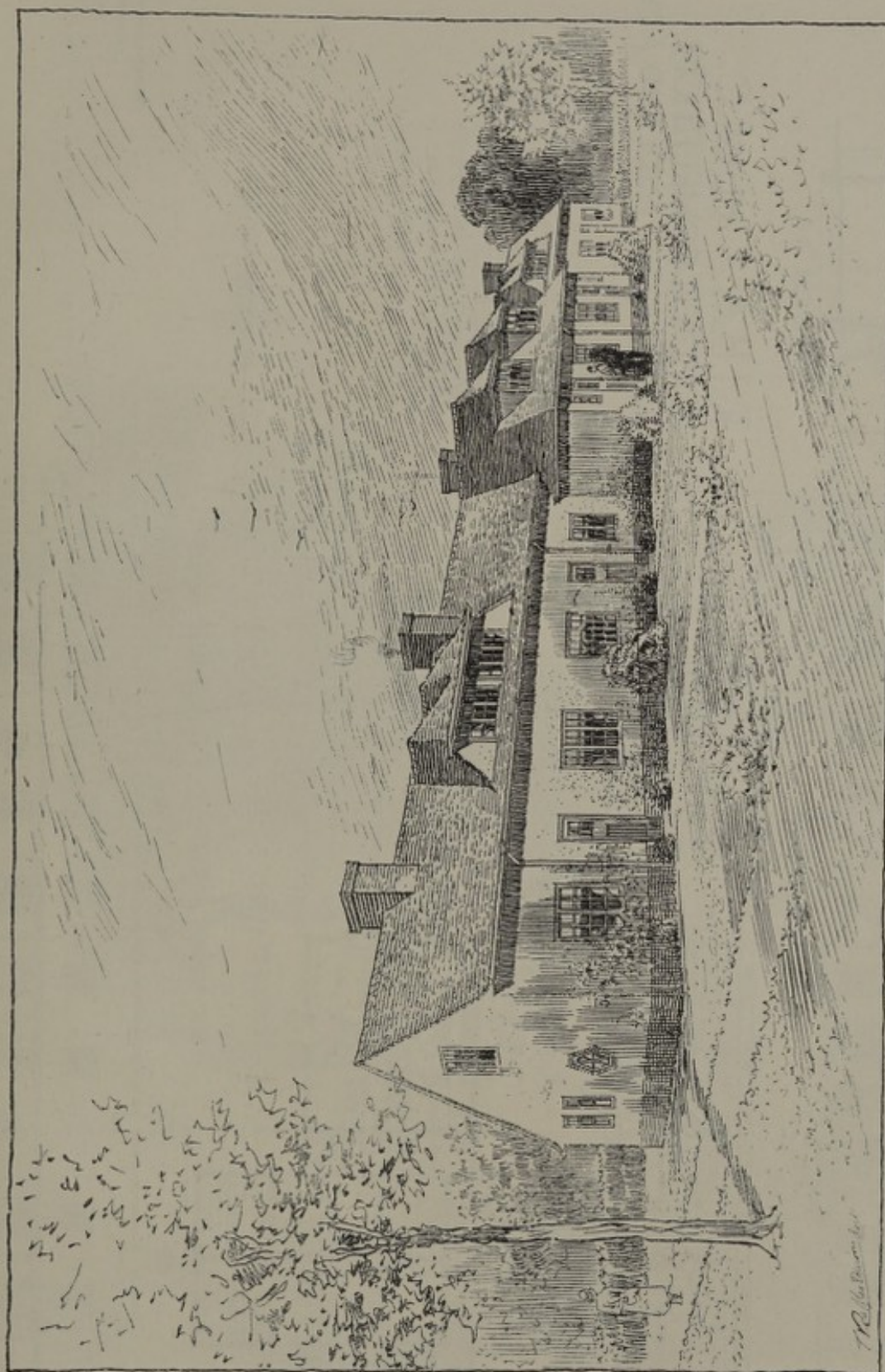
PLAN



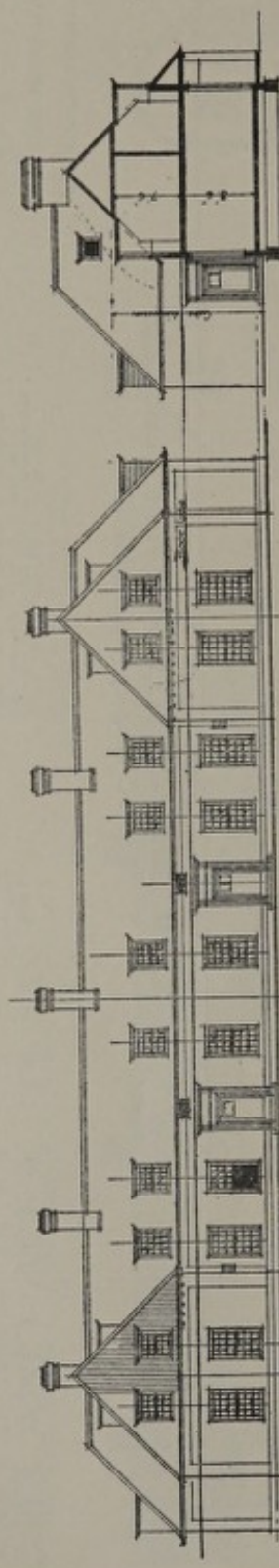
Cyril A. Farey, del.

XXXI. NORTHERN AREA : CLASS C, SECOND PREMIUM.

Alex T. Scott (Huddersfield).



XXXII. MIDLAND AREA : CLASS C, FIRST PREMIUM.
F. W. C. Gregory (Nottingham).

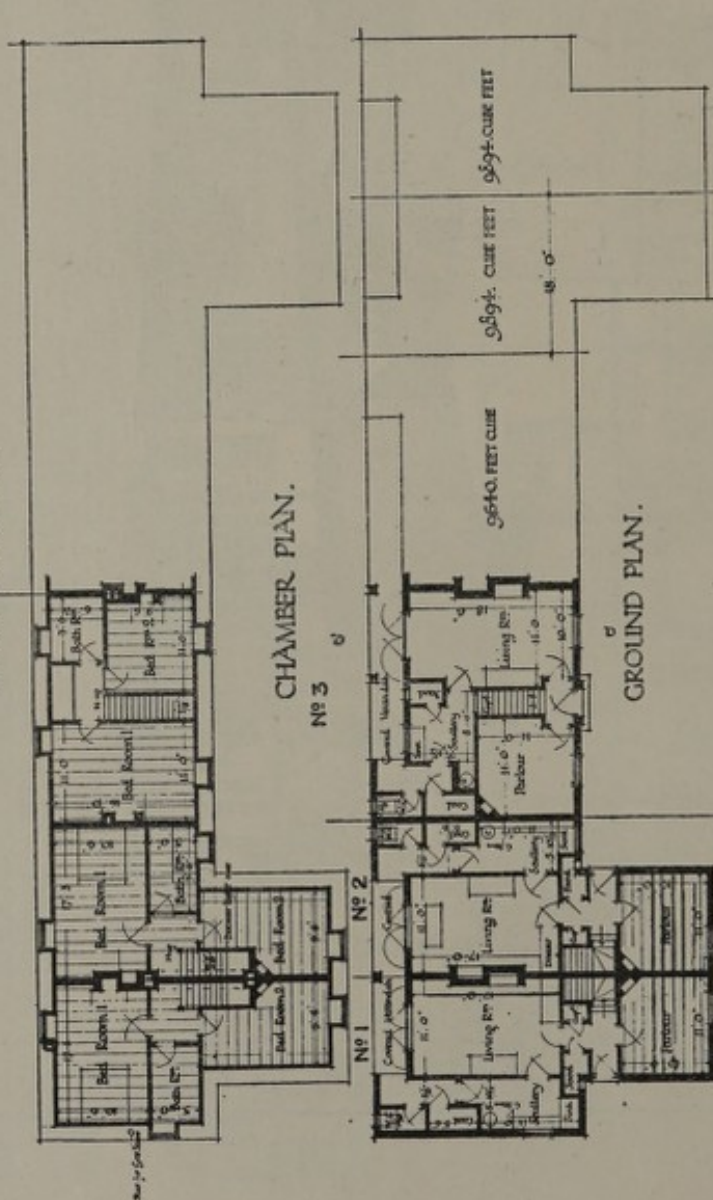
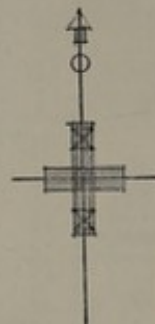


SECTION. a.d.

FRONT ELEVATION.

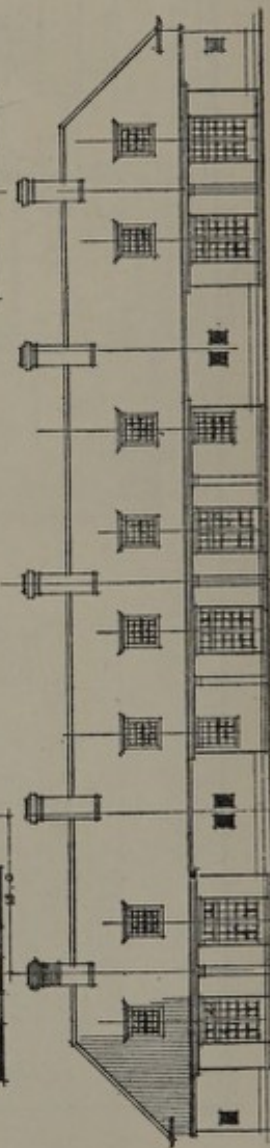
R.I.B.A. CLASS C COTTAGE COMPETITION. Scale 8 Feet to 1 Inch. MIDLAND AREA

Notes—
Walls built up in common bricks
If outside hollow walls —
Cement concrete floor to Living Rm & Scullery etc.
Living Rm. floor covered with cork linoleum.
Roof covered with Portland or white stone asphalt
laid to ridge & hips.
Gutters covered to eaves. Sides of dormers clad
Saw timber copper & lead.
External partitions on 1st floor where walls are
not carried up.
Soft windows — Wood panelling round doors —

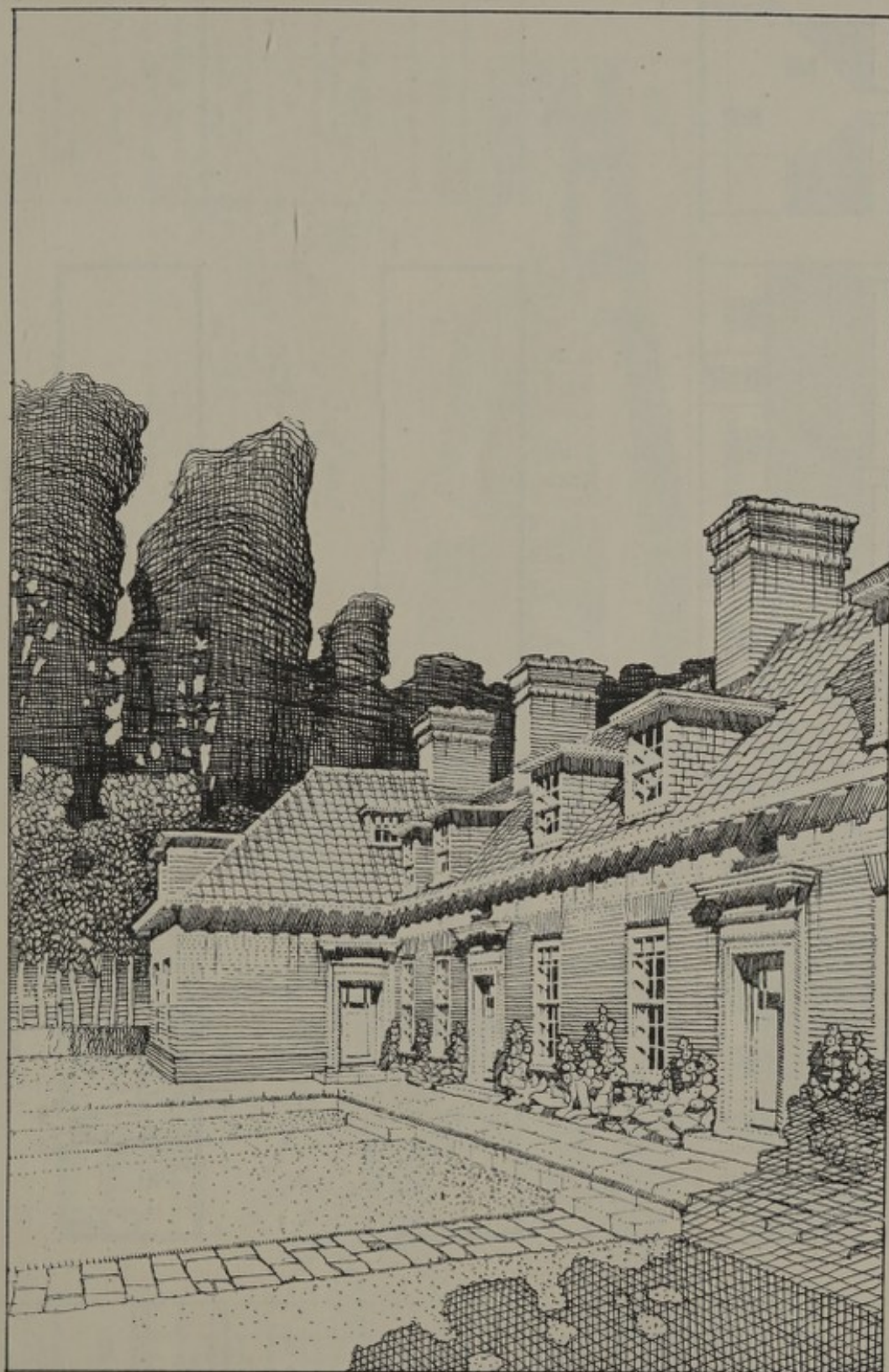


CHAMBER PLAN.

GROUND PLAN.



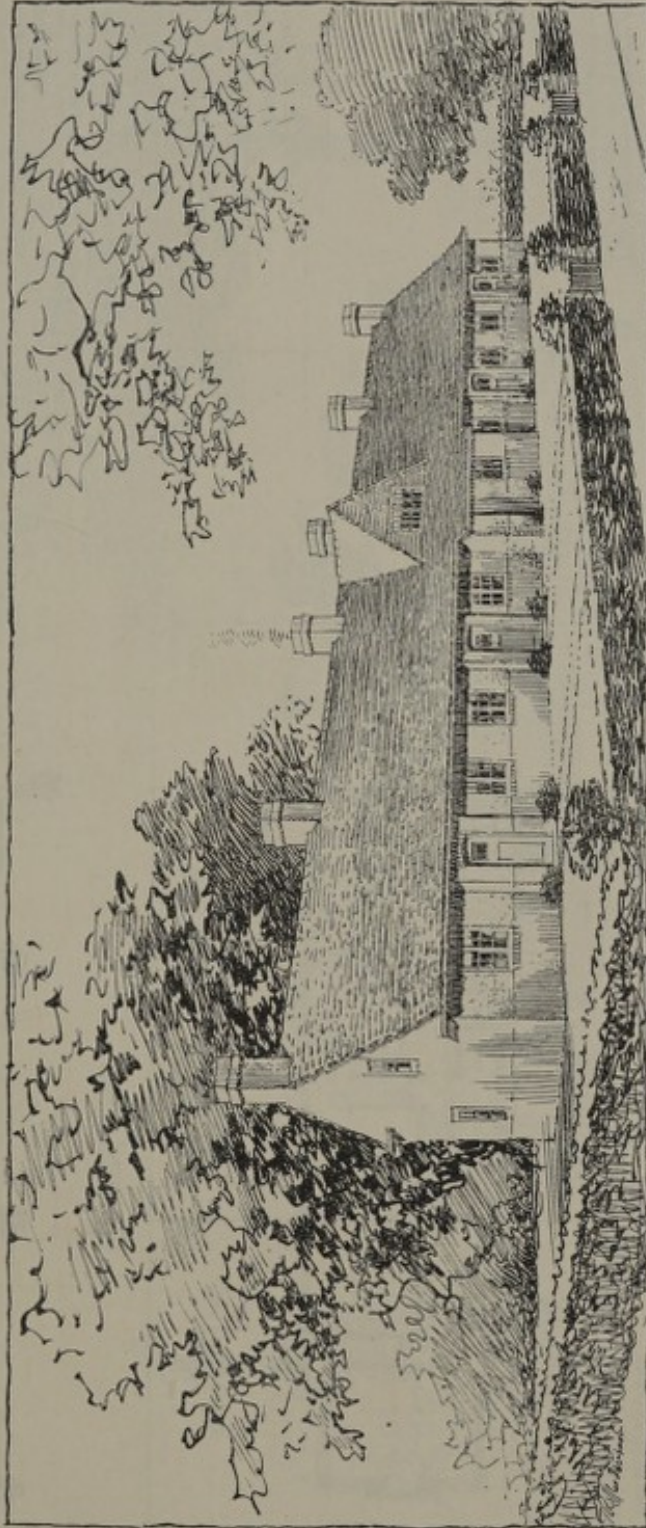
BACK ELEVATION



Cyril A. Farey, delt.

XXXIII. MIDLAND AREA: CLASS C, SECOND PREMIUM.

Stockdale Harrison & Sons.

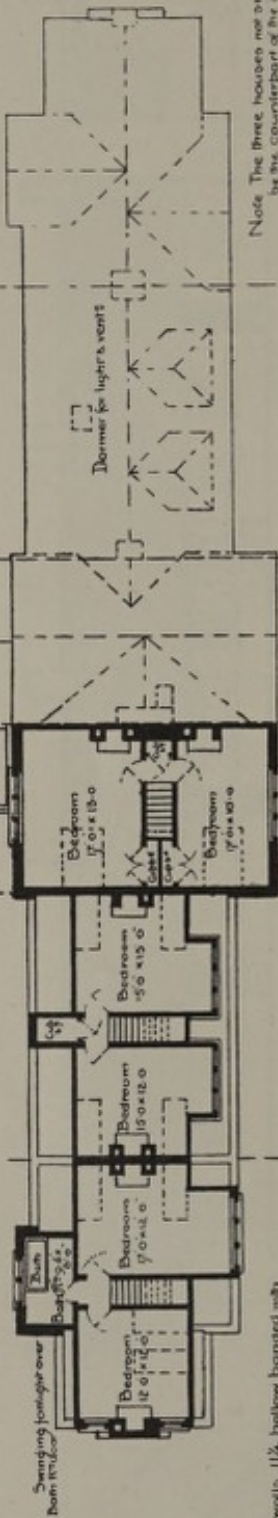


XXXIV. SOUTH-WEST AREA : CLASS C, FIRST PREMIUM.

W. A. Greenen (Port Sunlight).

Cottage Competition, Class C. South West Area Scale 8 feet to 1 inch.

Dotted lines indicate roofs.



First Floor Plan.

Materials &c

Walls brick. External walls 11 1/2 hollow bonded with galvanised wrought iron ties. Weather lined inside.

Roofs Tiles on battens, felt & wood rafters &c.

First floor storey boards on joists &c.
Roofed floor. Ground floor boards on breeze & concrete.
Floors of Scrimmer &c. Cement with chippings on concrete.
Damp course of felt.

External doors generally in two heights for ventilation.

Windows wood casements or casings if preferred.

Wood work externally stained & painted with two coats of a high quality exterior paint, with a leaded glass or other suitable material.

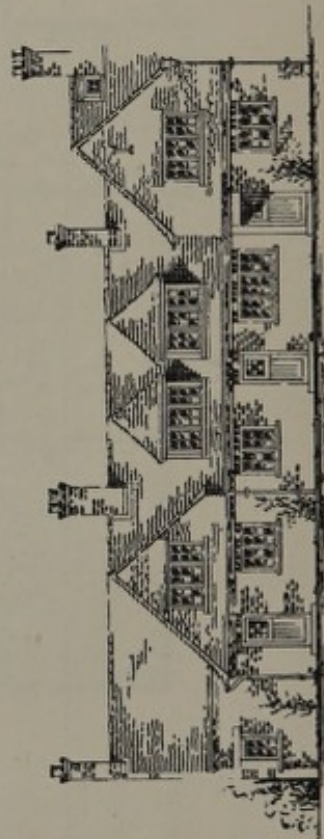
Note: The three houses are shown in detail which will be the counterpart of the other three.

With slight modification either arrangement of Cottages here shown could be adapted either for a pair or for a continuous row.

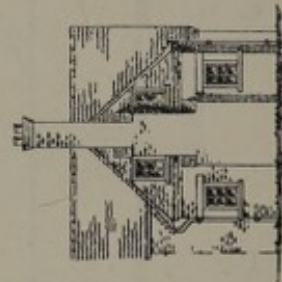


Ground Plan.

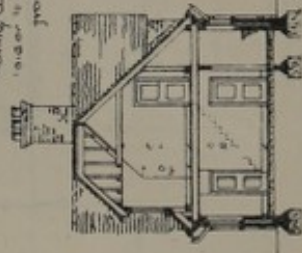
Boths of end houses would be supplied with hot water from Living Room ranges. Those of other Cottages would be supplied from a common tank which would be raised 15 inches above floor. Running cold water supply would be to three & not supply from them to others.



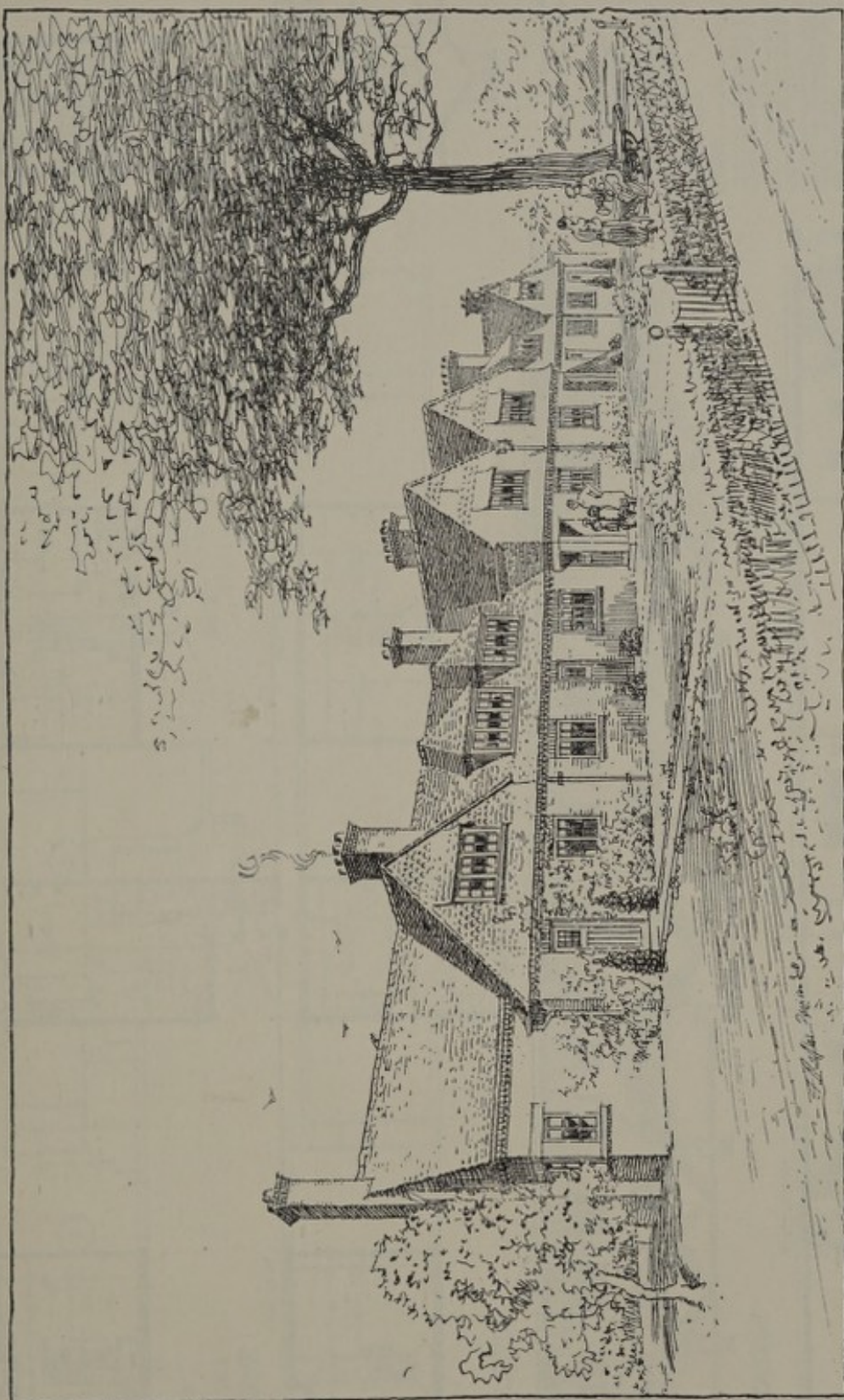
West Elevation.



North Elevation.

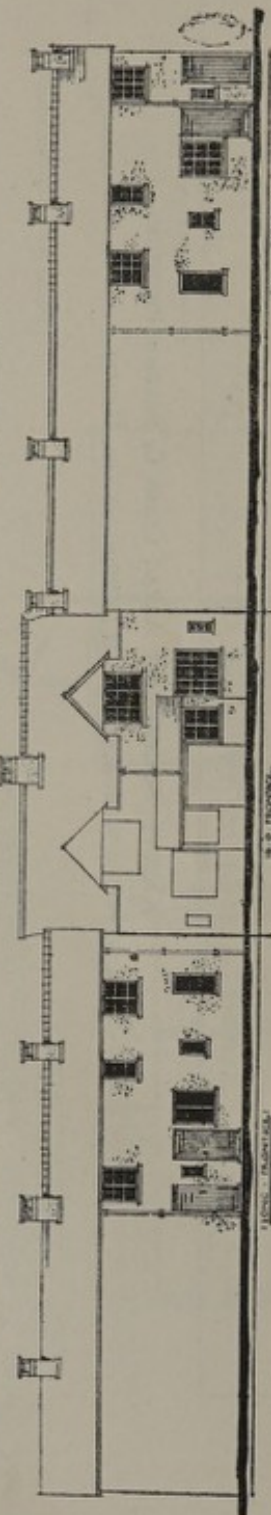


Section on A.A.

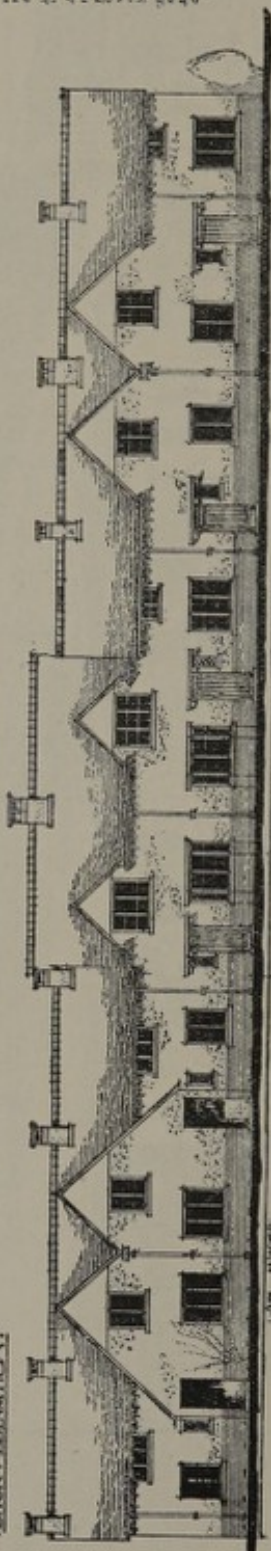


XXXV. SOUTH-WEST AREA : CLASS C, SECOND PREMIUM.
W. Ravenscroft (Milford-on-Sea, Hants).

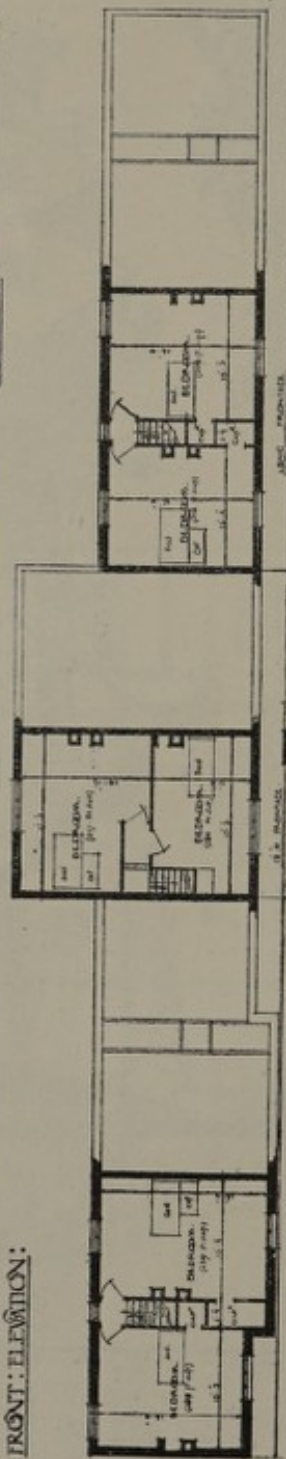
:COTTAGE: COMPETITION: SOUTH WALES AREA :CLASS: C:



:BACK: ELEVATION:

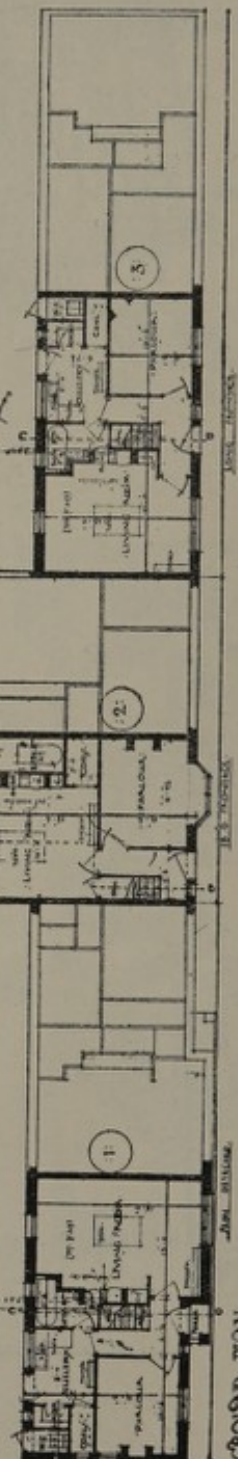


:FRONT: ELEVATION:

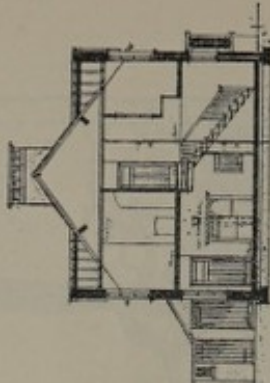


:DETAILED: PLAN:

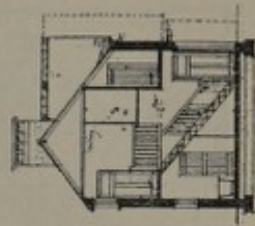
LEGEND:
① = 1000 sq. ft.
② = 1000 sq. ft.
③ = 1000 sq. ft.



:GROUND: PLAN



:SECTION: A, B:

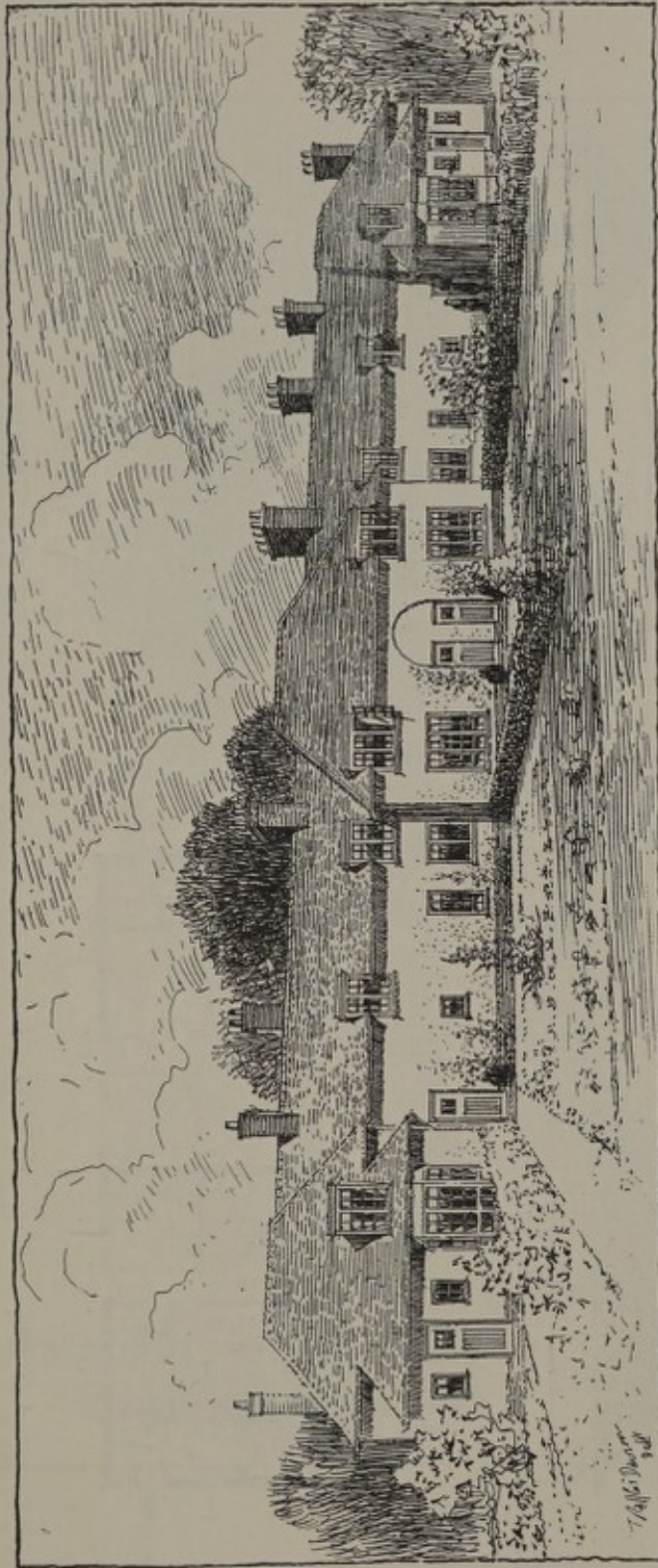


:SECTION: C, D:

JOHNSON & RICHARDS
MELBURN TRAIL

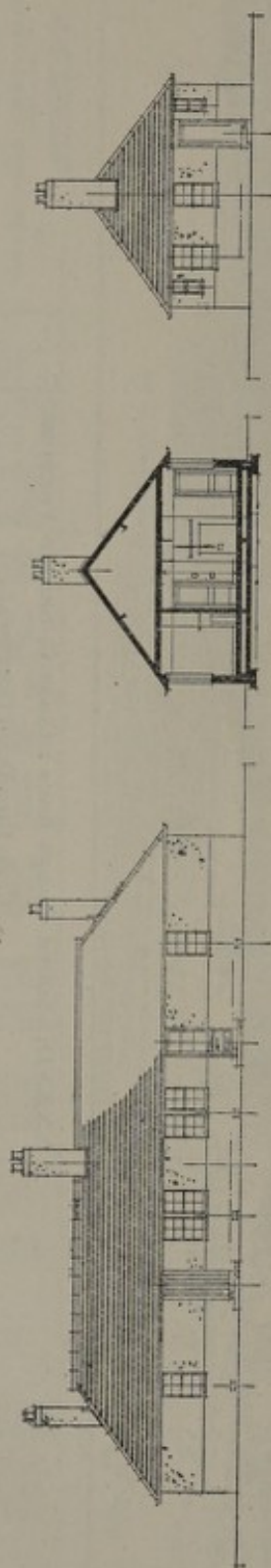
NOTE:

PLAN: 1/2\"/>



XXXVII. SOUTH WALES AREA : CLASS C, SECOND PREMIUM.
C. A. Broadhead (Swansea).

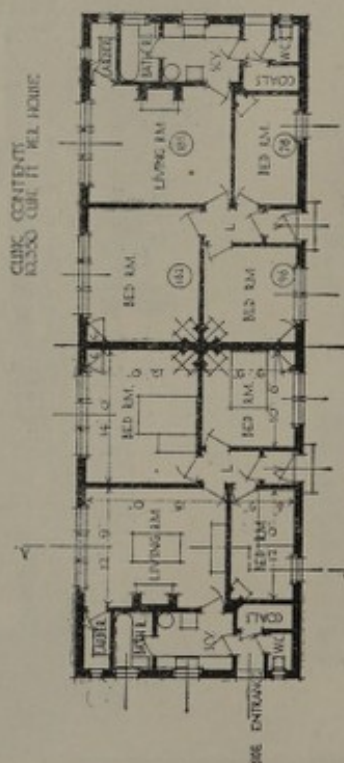
CLASS D
VARIATION OF CLASS A
THE ROYAL INSTITUTE OF BRITISH ARCHITECTS COTTAGE COMPETITION
LONDON AREA



N.W. ELEVATION

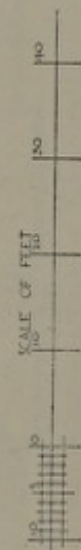
SECTION A.A.

N.E. ELEVATION

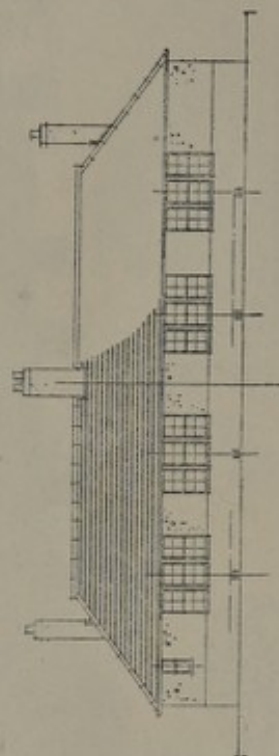


PLAN

HOT WATER SUPPLY
FROM MAIN TO CISTERN.
H.W. SUPPLY PIPE SHOWN IN BLUE.

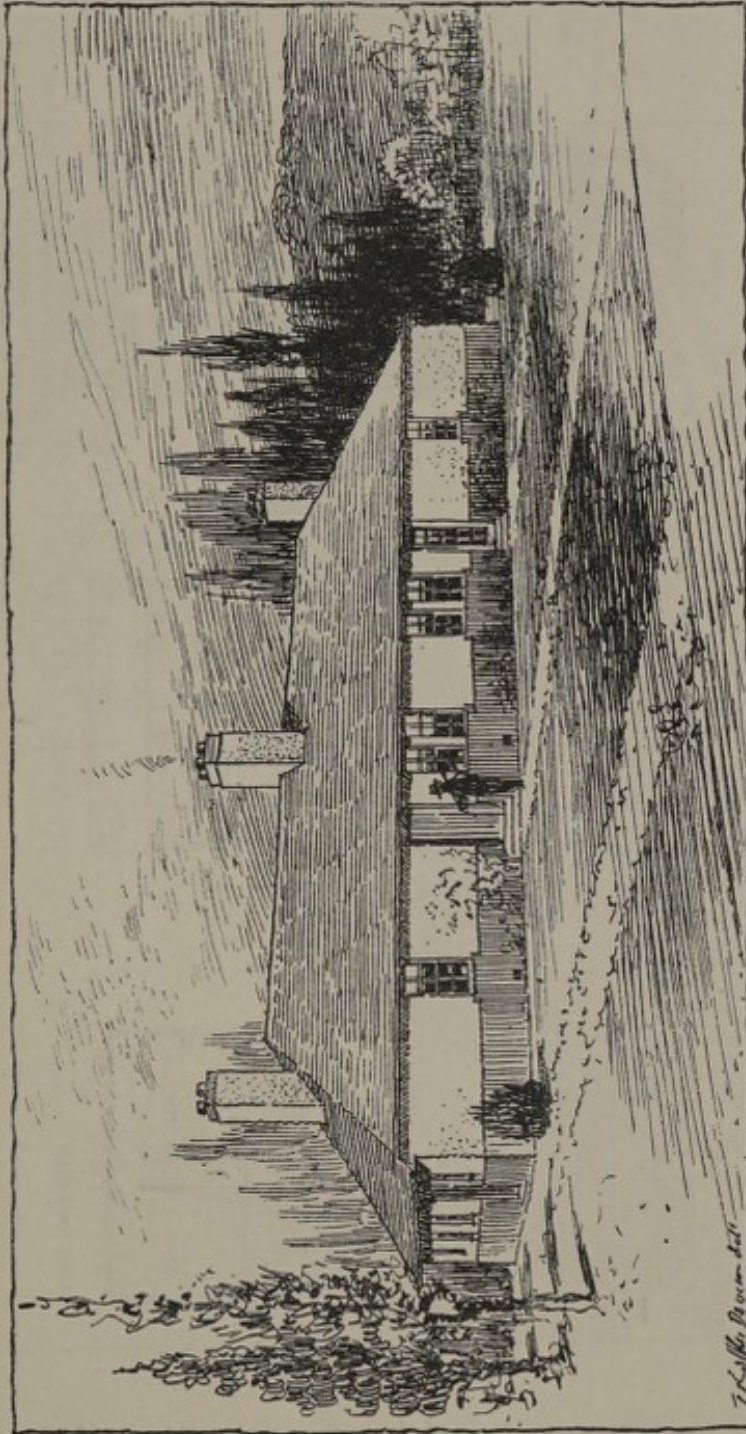


S.E. ELEVATION



MATERIALS
BRICK WALLS, ROUGH CAST.
SLATED ROOF WITH
CEMENT RIDGE AND BENDS.
SLAB PARTITIONS FINISHED 5"
B.H. SASH WINDOWS FOR VENTILATION
STANDARDISED FOR ECONOMY
PLYWOOD DOOR PANELS
SMOOTH CEMENT PAINT AND HYDRAULIC
ALUMINUM DOORS AND WINDOWS.

JOHN A. W. GRANT
15 CARGILL TERRACE, DUNDEE

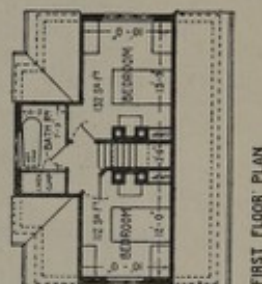
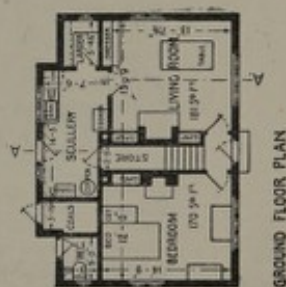
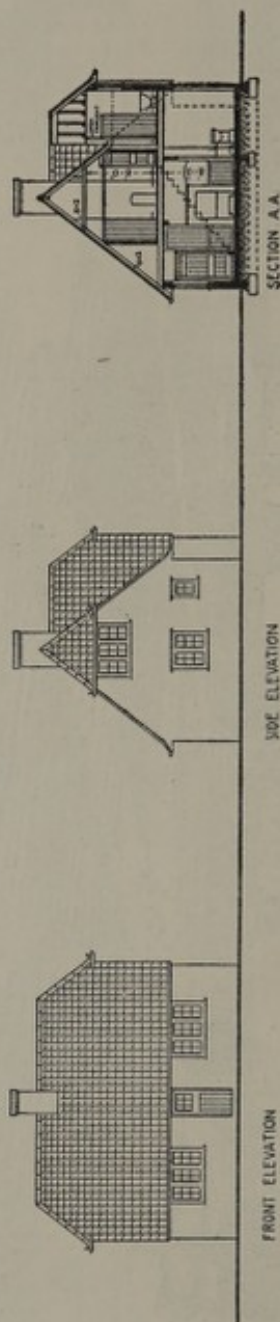


XXXVIII. HOME COUNTIES AREA : CLASS D, FIRST PREMIUM.

John A. W. Grant (Edinburgh).

COTTAGE COMPETITION CLASS D

HOME COUNTIES AREA



NOTES

CURR. CONTENTS OF COTTAGE

TOTAL 10000 CUBIC FEET

WALLS 9" BALCONY CEMENT ASPHALT ON THE OUTSIDE

INSIDE WALLS & PARTITIONS PLASTERED EXCEPT SCULLERY

LADDER DOORS & W.C. WINGS ARE UNLIMITED

PARTIES

1ST FLOOR 15' 6" JOISTS & 1" BANDING

GROUND FLOOR 4" CEMENT CONCRETE ON 6" HARDWARE

FINISHED IN CEMENT & GROUND WITH LINOLUM IN

LIVING RM. & BEDROOM

SOLID FRAMES & CASEMENTS

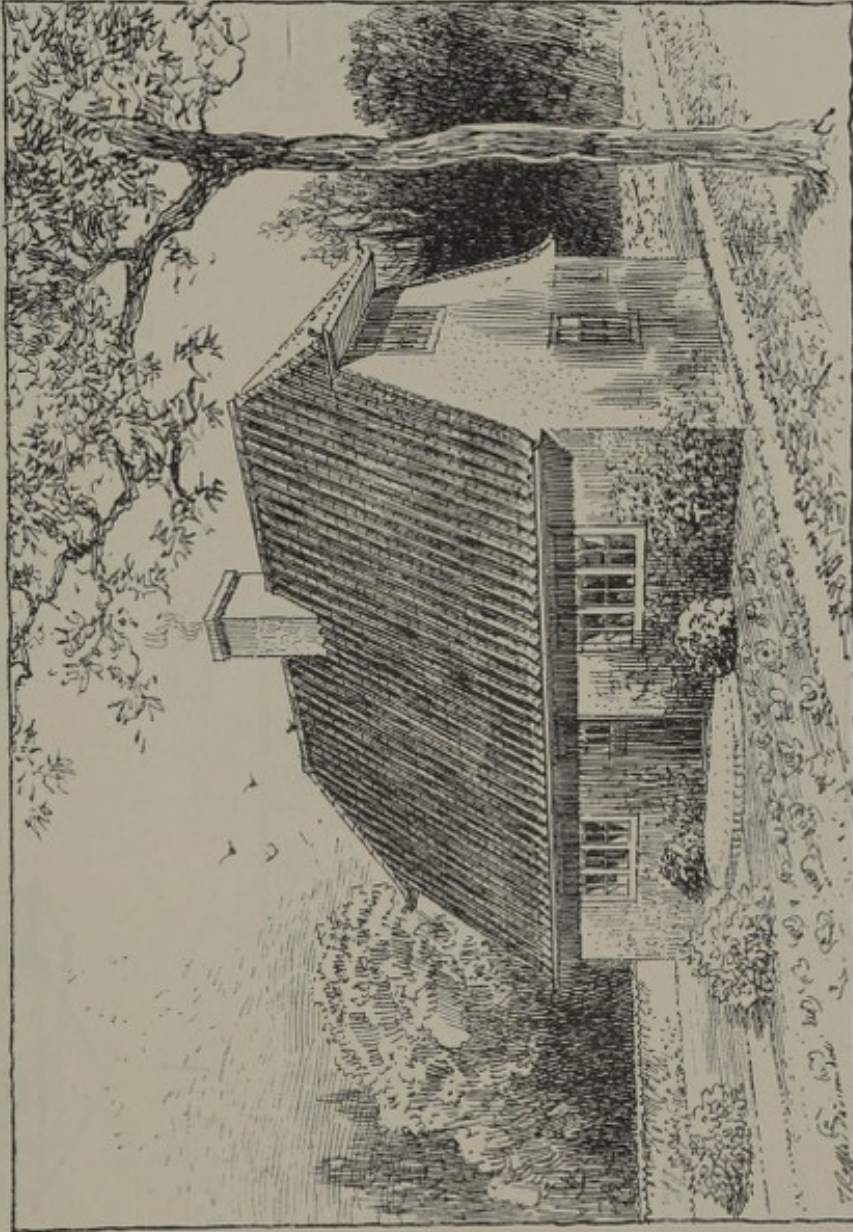
BATH HOT WATER PROVIDED BY NON-PRESSURE SUPPLY

FROM COPPER (SALEY'S PATENT) WITH

BRASSER TO SINK

W. R. MOSLEY
10 SUTTON PLACE, WICKHAM, ES.

XXXIX. HOME COUNTIES AREA: CLASS D, SECOND PREMIUM.



XXXIX. HOME COUNTIES AREA : CLASS D, SECOND PREMIUM.

W. R. Mosley.

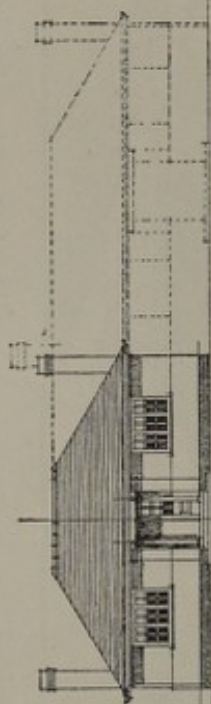
HOUSING • COMPETITION

MANCHESTER, LIVERPOOL

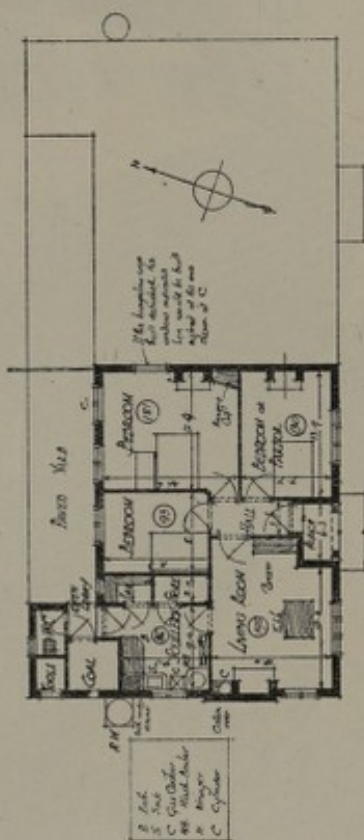
DESIGN FOR A BUNGALOW

CLASS D.

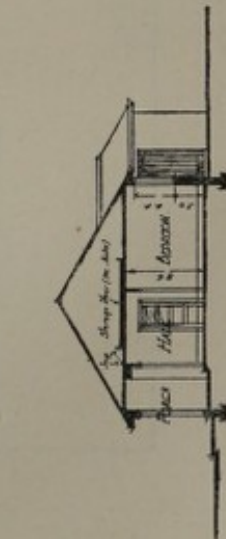
ACCOMMODATION CORRESPONDING WITH THAT SPECIFIED FOR CLASS A₁C



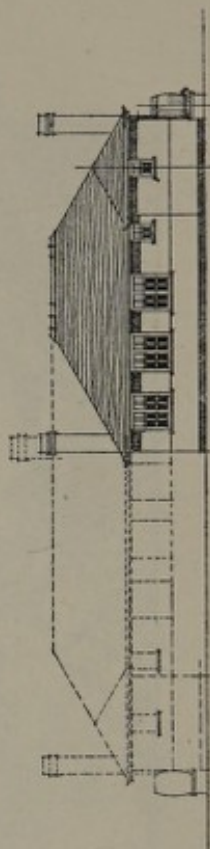
FRONT ELEVATION



Dr. A. N.



Cross SECTION THROUGH ENTRANCE.



DEAD FLATTOW

WILLIAMS, PATERSON AND ACATE
18 JOHN DALTON STREET
MANCHESTER

NOTES on DESIGN

The Turgator may be built either detached or as shown, or semi detached as indicated on outline, appearing in each case a complete and

The most available aspect is indicated by the North East, but the building could face anywhere between SE and SW.

The design is on basis adopted for common school & standard building, to be replaced by a large school around 1900.

No. 12600 is marked by means of another
line, but the black is not compact and not
uniform.

The doors are arranged to admit no light
possible with the cooling of the rooms from
usually hot sun. (S. S. S. S.)

The first tender approach (Duke, Glynn, Johnson, & all others) is concentrated within the space of a few feet.

A line is provided for Powers & Connelley.

Only one or two are left exposed from the bush above under cover.

CLINICAL CONTENTS of one hour
11408 advised

NOTES & MATERIALS

APPLS of brick, other substituted or
impure, (with base of sand or lime
bricks) or brick flings of the locally supplied

is sufficient to "start" a lot of slaves or slaves, according to locality, or they certainly make, leaving about 50% of living members.

if the hospital are built on larger numbers
I would most readily be built of stone
concrete blocks or brick.

and see they building and improve
are improved, not hardly
could keep the feeling down
the banks are built except to be made by hand

They are men, but large enough to come upon
us. They would be made on the side by
nature. They would be made on the side by
nature of food and from local materials be

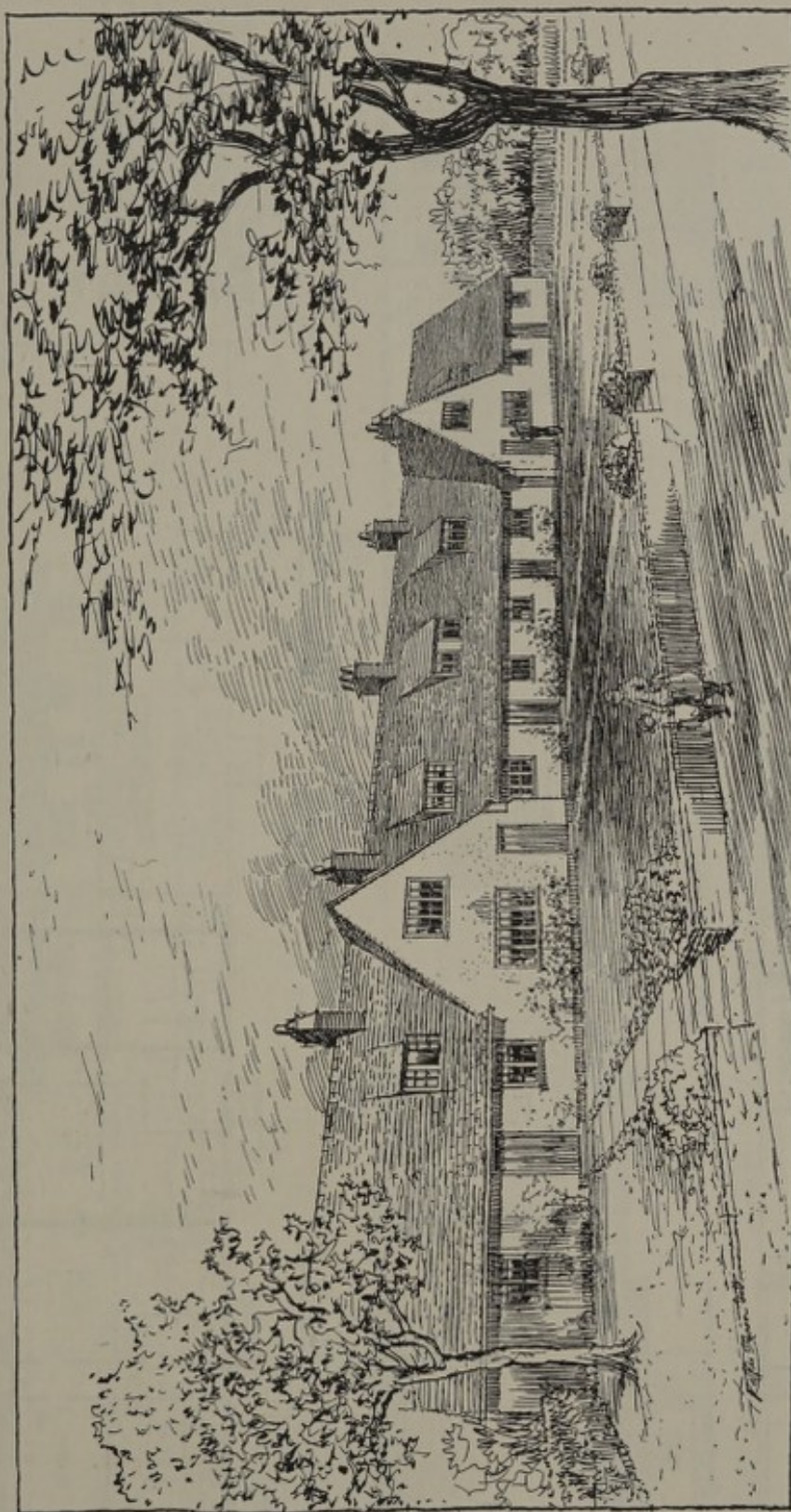
the case, to compare with Quaternary fossils. Clearly a combined Quaternary & Neogene field work is needed. The *glaciation* being used as an-

The GARLAND FLOOR would be of 4" concrete & 1" floor boards nailed to joists for

WEDGWOODS would be of the most substantial nature, which can be produced in large quantities.

let alone the manipulation of numbers ships.

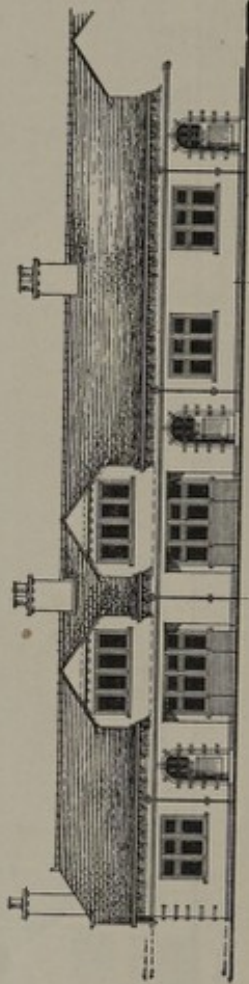
KILLDAY, PATERSON &
18 JOHN DALTON
MANCHESTER



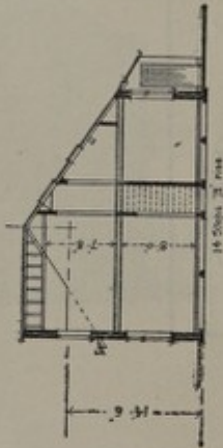
XI.I. MANCHESTER AND LIVERPOOL AREA : CLASS D, SECOND PREMIUM.
H. L. North (Llanfairfechan).

♦ COTTAGES ♦ CLASS D ♦
VARIATION of CLASS B

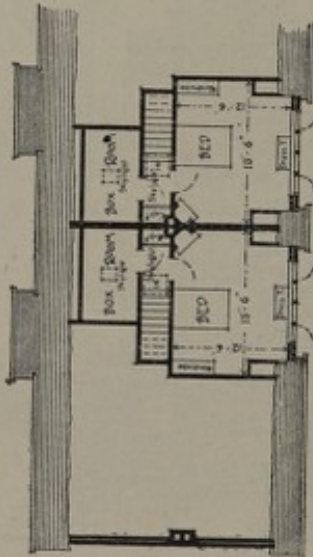
NORTHERN AREA



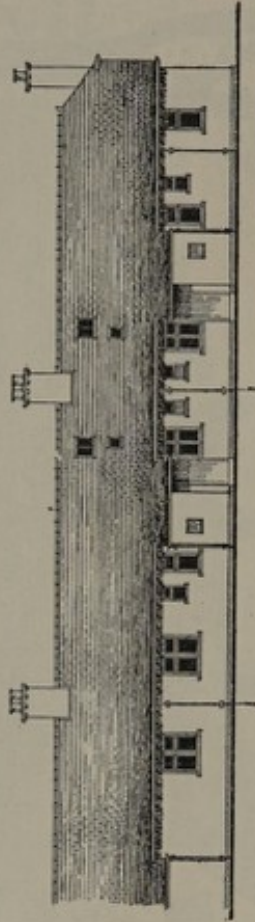
FRONT ELEVATION



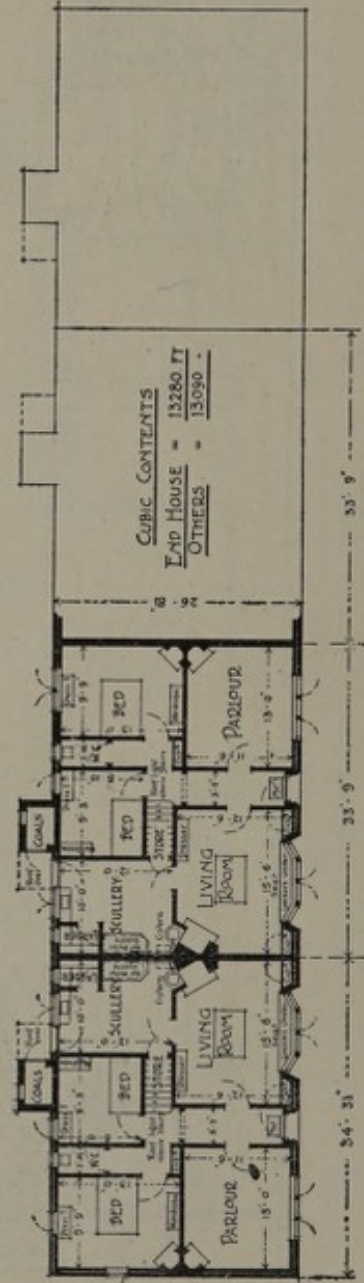
SECTION



ROOF PLAN



BACK ELEVATION



GROUND PLAN

BUILD IN PAIRS, OR ROWS OF FOUR OR SIX

MATERIALS USED.

External Walls of brick cavity constructed finished with
plaster 4 1/2" in cement. Half brick 9"
Lime, bonded single fluted, lower 1/2 inch are cement
finished. Windows of wood, with fanlight to them
Internal Walls of half plastered
Floors of wood, with these double fluted
boards, 1 1/2 inch thick, 6 inch wide
Construction. Timber in living room which leads under the
applied built and site
Water supply from distribution column into upper of range
Back covered with dark red tiles
Front & rear doors, painted in enamel, having enough
horizontal claustrum
Roof with angled steel over

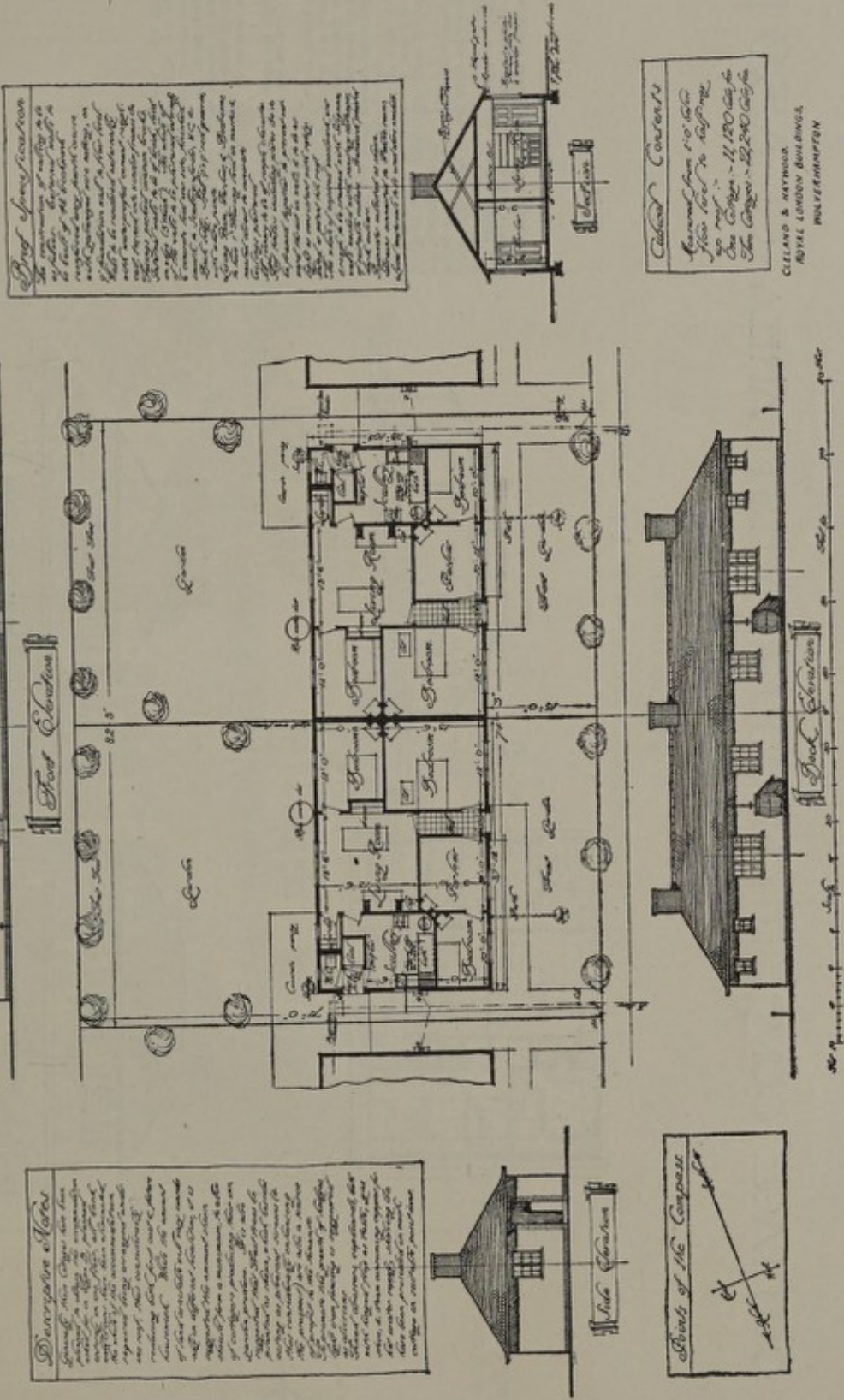
R. E. HASTEWELL
RHOS ROAD, RHOS-ON-SEA
COLIWYN BAY

HOUSING of the WORKING CLASSES for the LOCAL GOVERNMENT BOARD

MIDLAND AREA

ROYAL INSTITUTE of BRITISH ARCHITECTS' COMPETITION.

Note. This pair of Cottages has been placed as a variation of Type B, entirely on one floor.

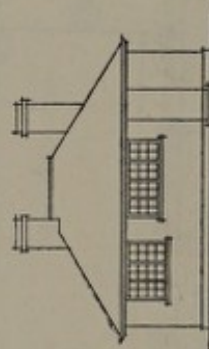
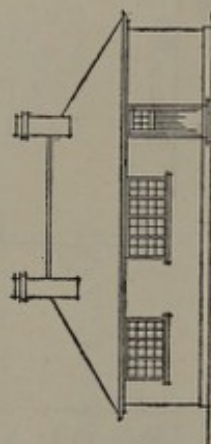
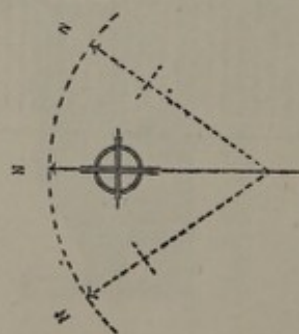
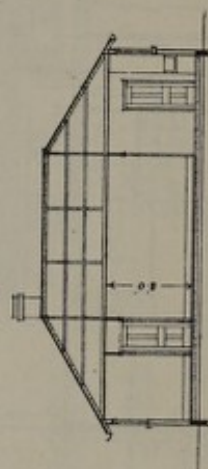
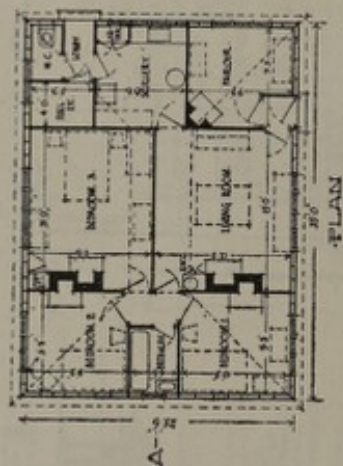


NLV. MIDLAND AREA : CLASS D, HON. MENTION.

RIBA COTTAGE COMPETITION - SOUTH-WEST AREA-CLASS D

NOTES-OF-MATERIALS

GENERAL INSTRUCTIONS TO MIX BATCH OR CONCRETE IN PLACE
UP TO THREE LEVELS ABOVE THE THINNESS OF METAL PLACING
WITH FINISHED METAL ON AN EXISTING SLAB SURF. CLEAN
STOCKED OUTSIDE WITH MOVER AND PUT IN PLACE A REINFORCED
CHURNING PILES OF CASE CONCRETE BLOCKS WITH A 6" SPACING
INTERNAL PARTITIONS OF CONCRETE BLOCKS (30" x 30" x 12")
WITH REINFORCING 3" BARS
PRESS IN SCREENT CONCRETE WITH CHURNER OR TILED
FINISH IN SCREENT AND CHURNER. FULL STOCK OF BLOW
DOWNER, MOVER, LINE, TUBS, ROOM ROOM BLOCK, OR
UNDERGROUND PUMP, TUBS, TUBS, TUBS, TUBS, TUBS, TUBS,
ROOMS OF LIGHT STEEL TRAPPING AND ELEMENT BUILT CONCRETE
STELLING WITH EXPANDED METAL COIL-SUPPORTING BLOCKS, INTERIOR
EXTENDING AND JAGS WITH CONCRETE TIES OR STAKES, OR
HANDSOME SUBSTITUTES THAT ROOF AND WITH TUBS,
FEELINGS ON EXPANDED METAL REFORM TO STEEL TIES
OF ROOF AND PASTERED
WINDOWS, SOLID WOOD FRAMES WITH TEAK BILLS AND
STEEL CASEMENTS, OR BOTH HANDS AND CASEMENTS
OF STEEL.
HEATING ETC. COMBINED RANGE AND FREQUENT IN
THE WARM ROOM WITH HOT WATER, BOILER, BURNING
GAS, CINDER, AND BURNING COMBUSTED AS SOLID
OF LIVING ROOM, FREELANCE, HOT WATER, AND ON
FROM CINDER TO BATH, LUNARLY, CONCRETE SHING
AND WASHING, BOLDER. THE LATTER, TO BE ALSO
GAS HEATED AND FILLED WITH WASTE. GAS STOVE
SCULPT



FRONT ELEVATION

SIDE ELEVATION.

CHAS COLE,
50 HIGH STREET,
EXETER

SCALE. $\frac{1}{8}$ INCH TO THE FOOT

XLVI. SOUTH-WEST AREA : CLASS D, FIRST PREMIUM.

CUBIC CONTENTS

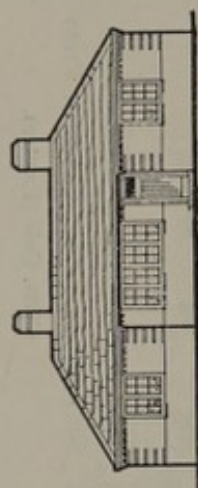
 $35.0 \times 25.6 \times 12.3 = 10913.77$



XLVI. SOUTH-WEST AREA : CLASS D, FIRST PREMIUM.
Chas. Cole (Exeter).

HOUSING COMPETITION

AREA S W



S W ELEVATION

CLASS D

MATERIALS

EXTERIOR.
WALLS OF 8" CAVITY BRICKWORK.
FACED WITH RED FACINGS.
PLUMB TO PROJECT $\frac{1}{2}$ " IN FRONT OF.
MAIN WALL.
LEAVES OF BRICK-CHASING COURSE
ENTIRE FORMED BY PROJECTING HEADS
ROOF COVERED WITH SLATES WITH
STAFFORDSHIRE RIDGE & HIP.

INTERIOR

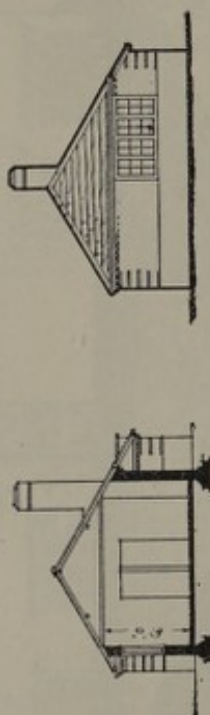
ALL WALLS 4½" BRICKWORK.
FLOORS 4" CEMENT CONCRETE.
RENDERED IN CEMENT TO SCULLERY
LARGER COALS AND W.C. ALL
OTHER FLOORS DITTO EXCEPT TO BE
FINISHED WITH PATENT TILING.

MATERIALS CONTINUED

REINFORCED CONCRETE LINTOLS OVER
ALL DOOR AND WINDOW OPENINGS.
WINDOW FRAMES 4½" WITH $\frac{1}{8}$ " STOP
PLANTED ON CEMENTS 2".
ROOF OF 2½" RAFTERS AND CEILING
JOISTS PARLORS 4½" PLATES 4½".
BATH TILED WITH TABLE TOP.
CEMENT CONCRETE SHELVES TO LARDER.

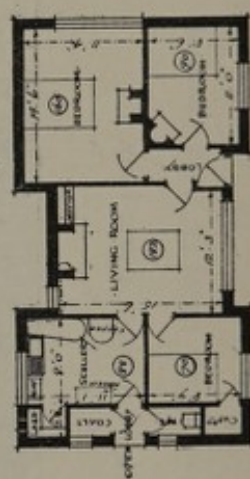
NOTE
Hot water system shown in plan

CUBIC CONTENTS 8,700 Cu. Ft.



SECTION

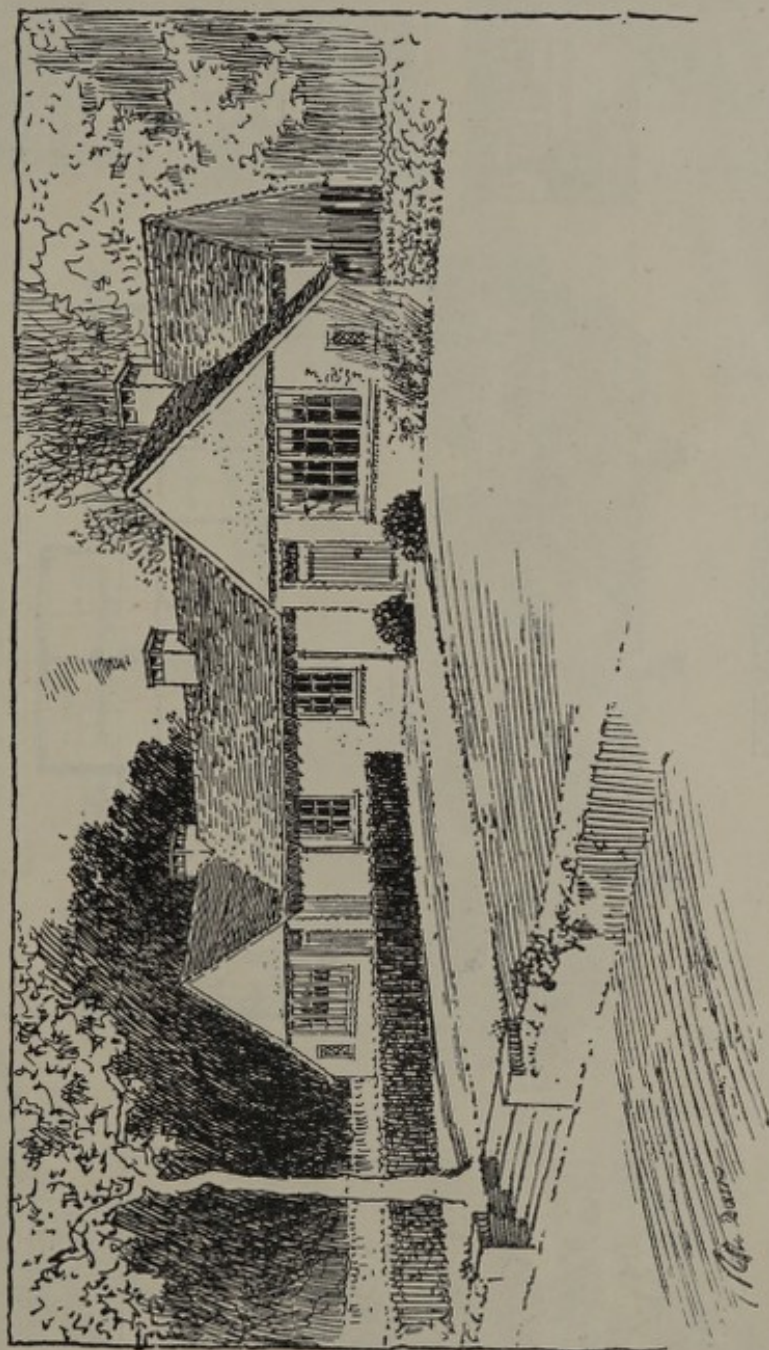
S E ELEVATION



PLAN

XLVII. SOUTH-WEST AREA: CLASS D, SECOND PREMIUM.

W. A. GREENE,
456, BOLTON ROAD, EAST AUST
PORT SUNLIGHT,
CHESHIRE.

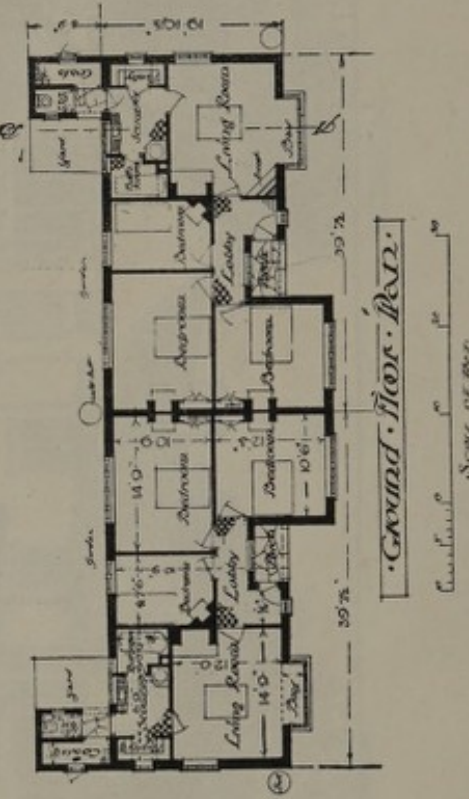
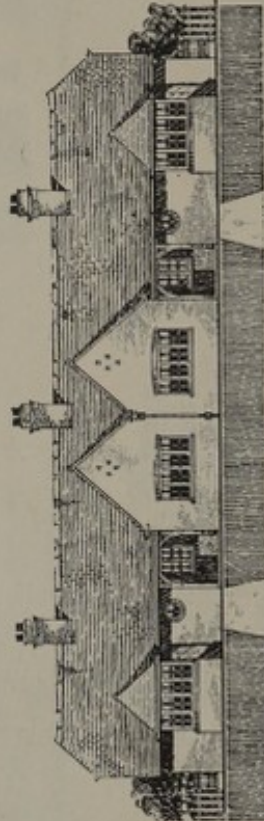


XLVIII. SOUTH WALES AREA : CLASS D, FIRST PREMIUM.
Johnson & Richards (Merthyr Tydfil).

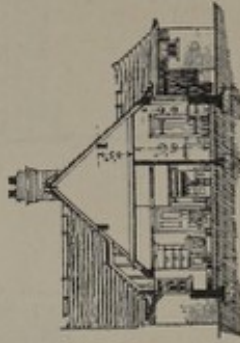


HOUSING OF THE WORKING CLASSES Cottages Competition SOUTH WALES AREA

Cubic Contents
1972 cubic feet



Section A-B



GENERAL NOTES
The external walls of the cottage are built of brick with a concrete foundation. The roof is covered with asphalt and is supported by a timber frame. The interior walls are finished with plaster and the floors are covered with tile. The cottage is built on a level site and is surrounded by a garden. The design is intended to provide a simple and comfortable dwelling for a small family.

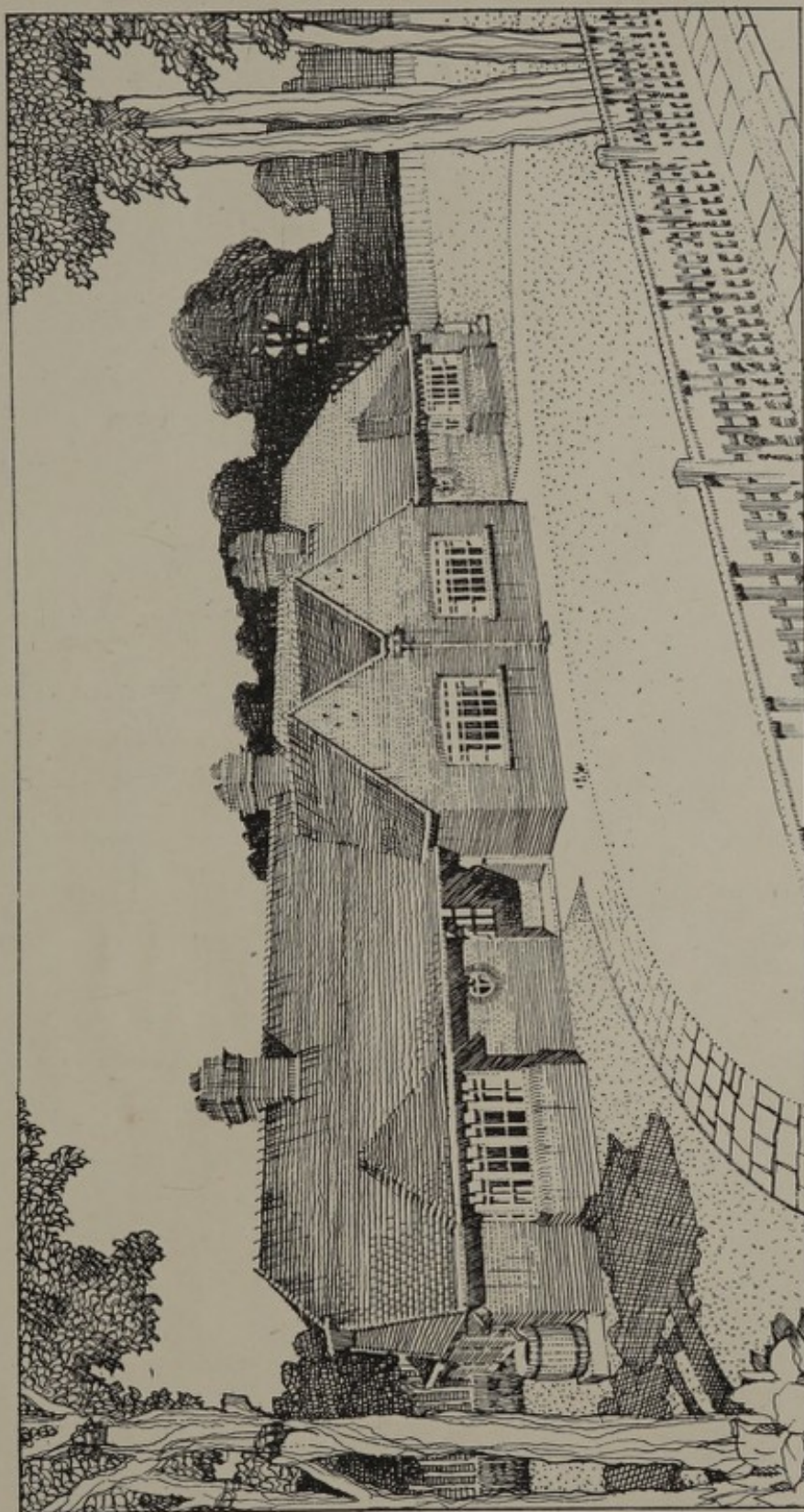
MEASUREMENTS
The overall dimensions of the cottage are 20 feet by 25 feet. The internal dimensions are 18 feet by 23 feet. The height of the cottage is 10 feet. The total cubic contents are 1972 cubic feet.

LIST OF MATERIALS
The materials required for the construction of the cottage are as follows: Brick, concrete, timber, plaster, tile, asphalt, and garden plants.

ESTIMATE
The estimated cost of the cottage is £1,200. This includes the cost of materials, labor, and a contingency fund.

A. E. WEBB
BLACKWOOD HOUSE

XLIX. SOUTH WALES AREA : CLASS D, SECOND PREMIUM.



XLIX. SOUTH WALES AREA : CLASS D, SECOND PREMIUM

A F Webb (Blackwood, Mon.).

Cyril A. Farey, e.t.

W. H. SMITH & SON
THE ARDEN PRESS
STAMFORD STREET
LONDON . S.E.

